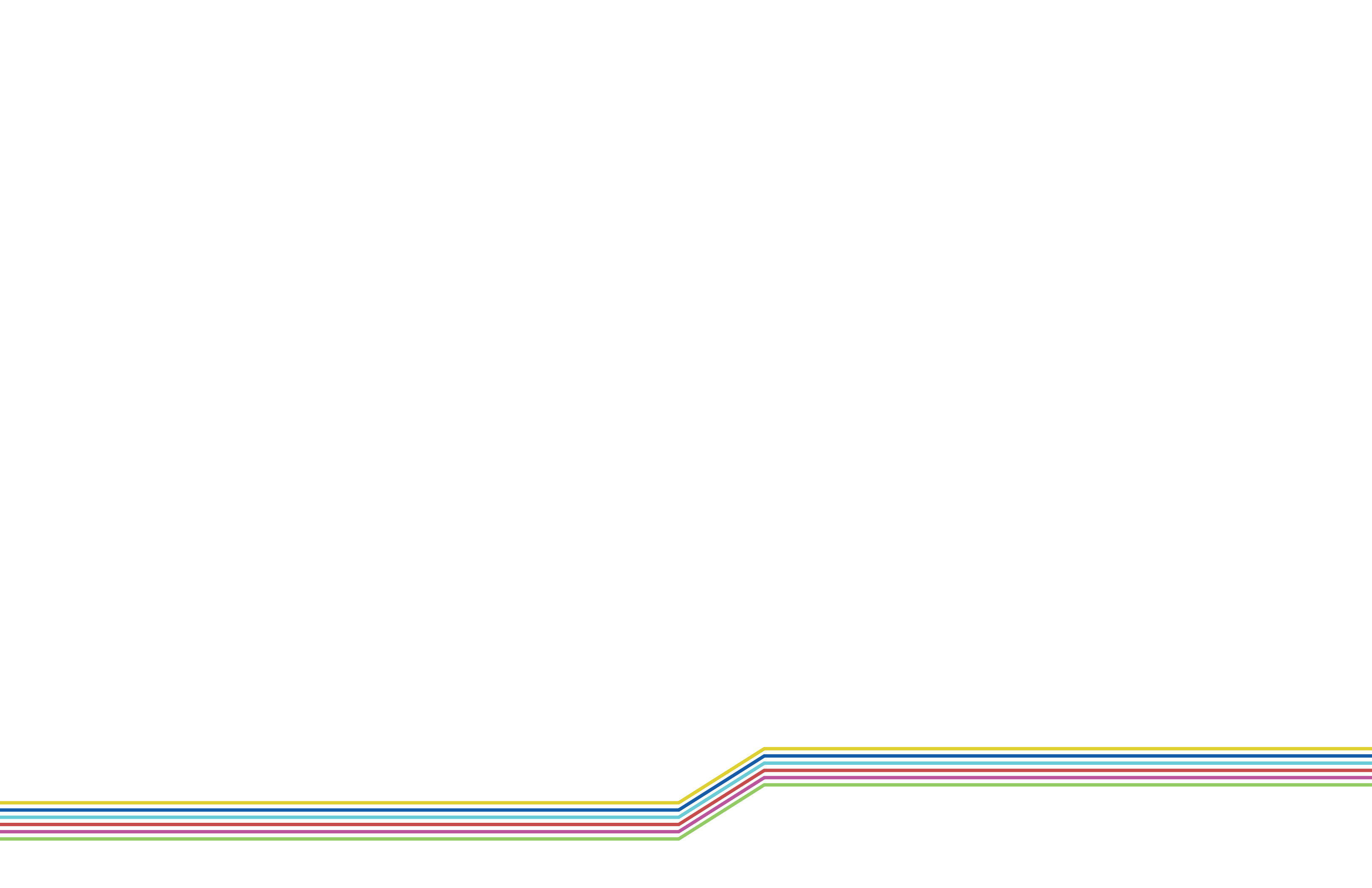




RIVER MARKET STREETScape + AMENITIES PLAN



ACKNOWLEDGMENTS



RIVER MARKET COMMUNITY IMPROVEMENT DISTRICT

Mark Rowlands, Director

RIVER MARKET COMMUNITY IMPROVEMENT DISTRICT BOARD

- Christian Arnold
- Nikole Ammer
- Chris Sally
- Dana Gibson
- Donna Slaughter
- George Birt
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- Gerald Williams, AICP
- Jonathan Arnold
- Justin Cottrell
- Kyle Elliott
- Michael Fischer
- Richie Benninghoven
- Rosemary Salerno
- Justin Cottrell

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INTRODUCTION

PURPOSE + BACKGROUND

In 2018, the River Market Community Improvement District (RMCID) hired Confluence to help complete an overall Streetscape and Amenities Plan to create a continuous framework and image for future decisions while incrementally changing the streetscape to provide a consistent identity throughout the neighborhood. With the help and guidance of public and stakeholder input, this plan helps to achieve the following goals:

- » Create a consistent image and identity.
- » Enhance the neighborhood aesthetics and continuity.
- » Provide guidelines for streetscape amenities & neighborhood signage.

Since these amenities will be implemented over time to replace existing streetscape elements, it is important to outline the guidelines to ensure consistency of design, quality and maintenance. This document is the River Market Streetscape and Amenities Plan, as adopted by the City Council on August 15, 2019 by Resolution Number 190657. All future streetscape improvements within the plan area should comply with these streetscape guidelines and recommendations.

JURISDICTIONAL BOUNDARY

This document will serve as the guideline for all streetscape and amenity improvements to be installed within the right of way in the project limits, defined as follows and shown: Highway 9 to the east, Beardsley to the west, 1st Street to the north, and Independence Avenue to the south.

PROCEDURES

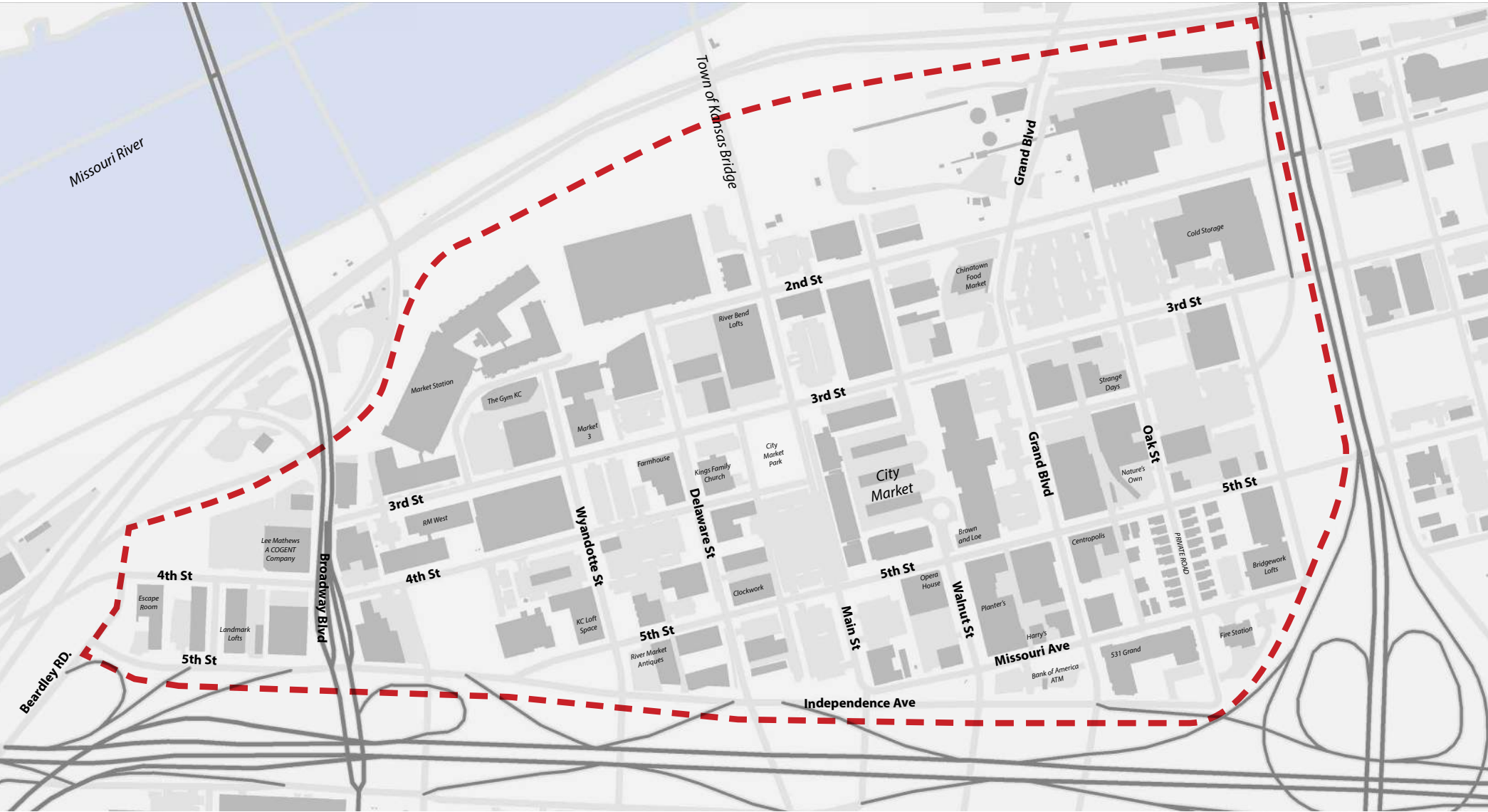
All new streetscape and amenity improvements installed in the public right of way shall be considered public improvements and, as such, must be approved and permitted by the City of Kansas City Planning and Development, Development Service-Land Development Division (LDD). The RMCID should be consulted on any streetscape designs/improvements as well as any deviations from the streetscape plan when questions or clarifications arise. Once approved by the LDD, construction of streetscape improvements may commence.

PROCESS

It will be important for the RMCID, stakeholders and City staff to work together and to coordinate future City-funded improvements that are planned to be implemented within this plan area. These efforts may include, but are not limited to, future sidewalk replacement, speed limit reduction and traffic signal coordination, street and pedestrian lighting upgrades, ADA upgrades, storm water management, water line replacements (and related surface reconstruction), and other similar capital improvement projects that could have potential for public-private partnerships.

Understanding that the CID has limited sources from which to generate capital for implementation, additional strategies should be utilized to pursue assistance and/or funding from through the City's Public Improvement Advisory Committee (PIAC), Community Development Block Grants (CDBG), and

other similar sources. Efforts should also be made to prioritize which public improvements are desired to be implemented initially, and to advocate for their consideration and inclusion in the City's Capital Improvements Plan (CIP)- which prioritizes the construction of future public infrastructure improvements. Leveraging available CID capital funds as part of a larger overall project effort will likely improve the opportunities for securing additional public funds and provide for quicker realization of this plan.



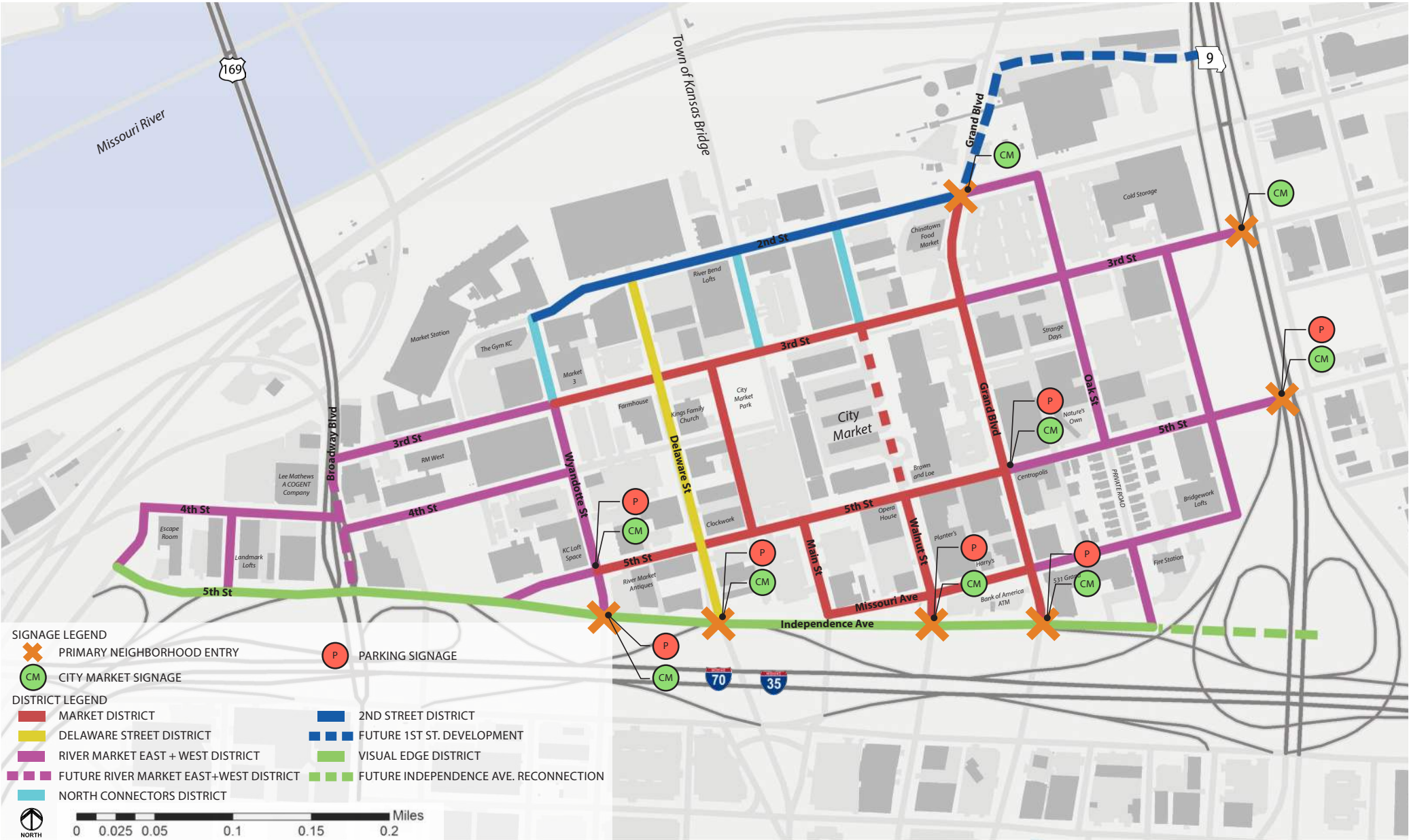
RIVER MARKET NEIGHBORHOOD JURISDICTIONAL BOUNDARY

APPROACH

DISTRICT TREATMENT

Based on evaluation of aesthetics, architectural quality and land use, the River Market can be categorized into a series of sub-districts. In response to this existing environment, the framework for this plan celebrates the unique historic character of the City Market and the Delaware Street districts. Surrounding sub-districts are designed in response to the recent and more modern architectural styles while still clearly conveying the image of the River Market neighborhood. The streetscape and amenity design standards are further described as six prototype blocks in the following pages:

- Market District (06-07)
- North Connectors District (08-09)
- 2nd Street District (10-11)
- Delaware Street District (12-13)
- River Market East & West District (14-15)
- Visual Edge District (16-17)



OVERALL RIVER MARKET DISTRICT AND SIGNAGE MASTER PLAN KEY MAP

MARKET DISTRICT

The typical streetscape treatment within this district consists of a 6' amenity zone with an 9' pedestrian zone. The amenity zone consists of a 10' curbed planting bed spaced 20' apart, with low maintenance planting material. A decorative planting fence surrounds the 4" concrete curb of the planting bed. Concrete curbs should be installed at new locations and phased in as updates occur. Street trees are centered 30' on center within each planting bed. Refer to street tree treatment section for appropriate tree selection.

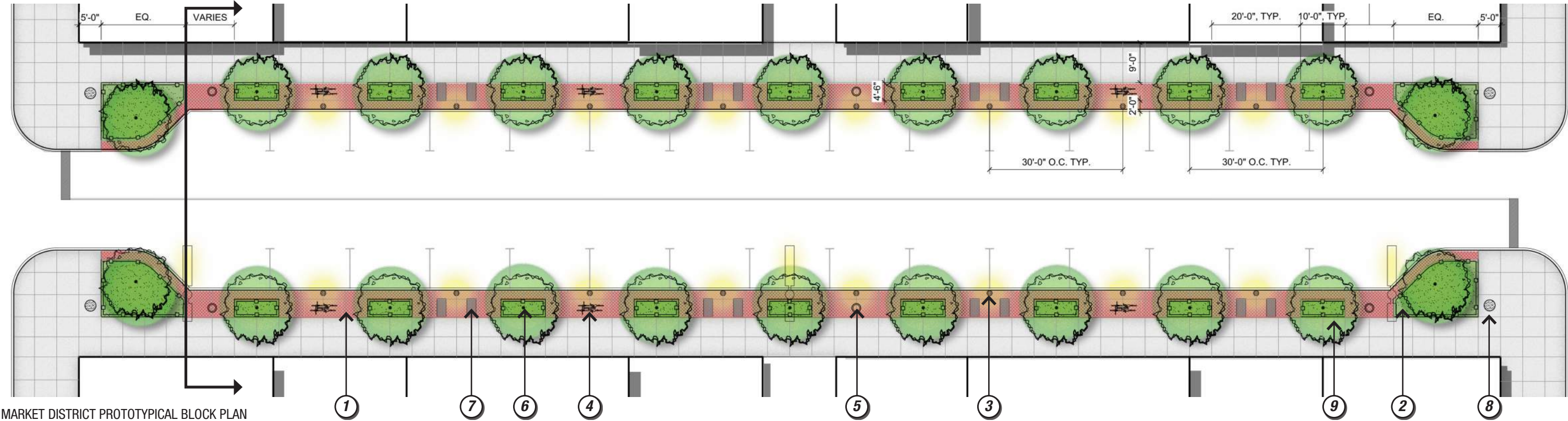
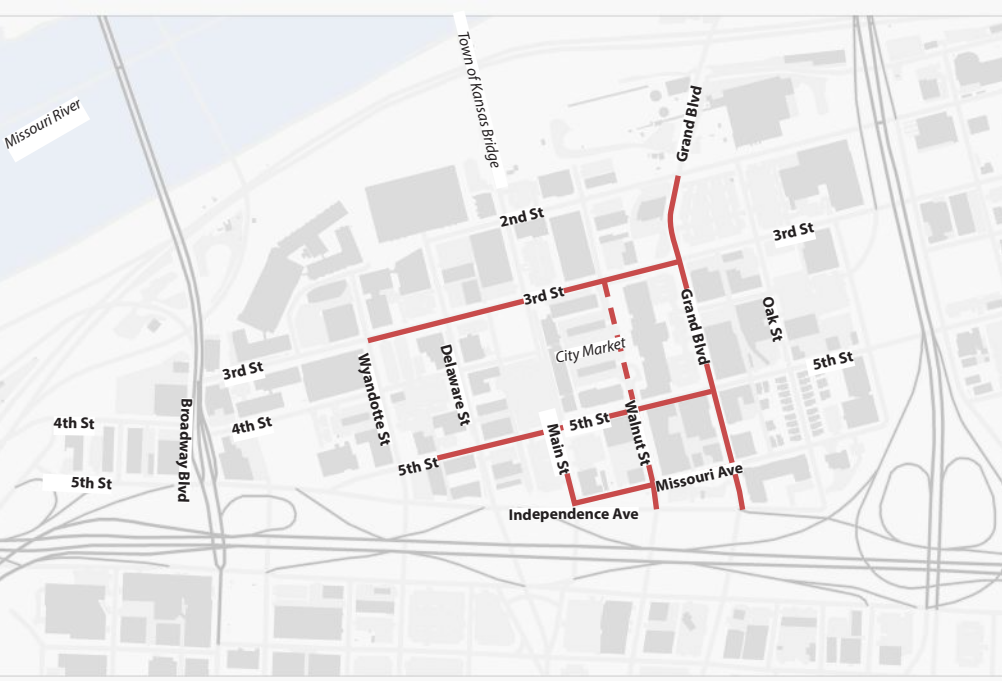
Planting beds should end 5' from buildings edge on both sides of the street. Although this prototypical plan shows bump outs at the ends of the street, some locations do not physically have the space for this installation. If a bump out is not feasible, the planting bed should be the same width and align with the other planting beds along the street. The first and last planters along each side of the block should also be equal in length. Specialty paving is within the entire 6' amenity zone between planting beds to further define the two zones.

Additional amenities found only within the 6' amenity zone consist of bike racks (to be placed near the closest building entry for best and highest usage), litter receptacles, pedestrian lights placed 30' on center, seating elements and planter pots. See block prototype for layout. Refer to the following page for specific streetscape amenities to be used within the Market District.

LEGEND

- 1 Install specialty paving within amenity zone.
- 2 Install low maintenance, shade tolerant groundcover within curbed landscape bed. Mulch to be one inch below top of curb. Hand water plant material for the first year for establishment.
- 3 Install pedestrian light fixture 30' on center behind back of curb within amenity zone.
- 4 Install six (6) bike racks along block. Bike racks should be within the amenity zone and should not interfere with pedestrian zone. Bike racks should be then placed near the closest building entry for best and highest usage. Surface mount bike rack.
- 5 Install six (6) litter receptacles along block. Place within amenity zone only.
- 6 Plant street trees 30' on center along block within curbed landscape bed. See street tree section for information and guidelines on type of tree to install per district. Check on trees annually to remove any limbs lower than typical pedestrian height or any dead limbs.
- 7 Install maximum twelve (12) seating elements along block. Place within amenity zone.
- 8 Install planter pots at key locations to highlight within a block. Key locations include but are not limited to: main pedestrian crossings (do not block pedestrian walk path), building entries and intersections. Planter pots to be planted with annuals that provide bright colors. Planter pots to be placed within amenity zone only.
- 9 Install planter fence around all sides of landscape bed.

KEY MAP



MARKET DISTRICT PROTOTYPICAL BLOCK PLAN



LITTER RECEPTACLE:
Keystone Ridge: 32-gal. MT3-32
(Black; with Elevated Lid)



BIKE RACK:
Anova: Metro, Existing Fixture (Black)



PEDESTRIAN LIGHT FIXTURE:
Hood - Sternberg Lighting: Old Town (Black)
Pole - AAL: PR4 14' Pole (Black)
Base - AAL: BC5 24"ht 2-Piece Base Cover (Black)



PROTOTYPICAL MARKET DISTRICT CROSS SECTION



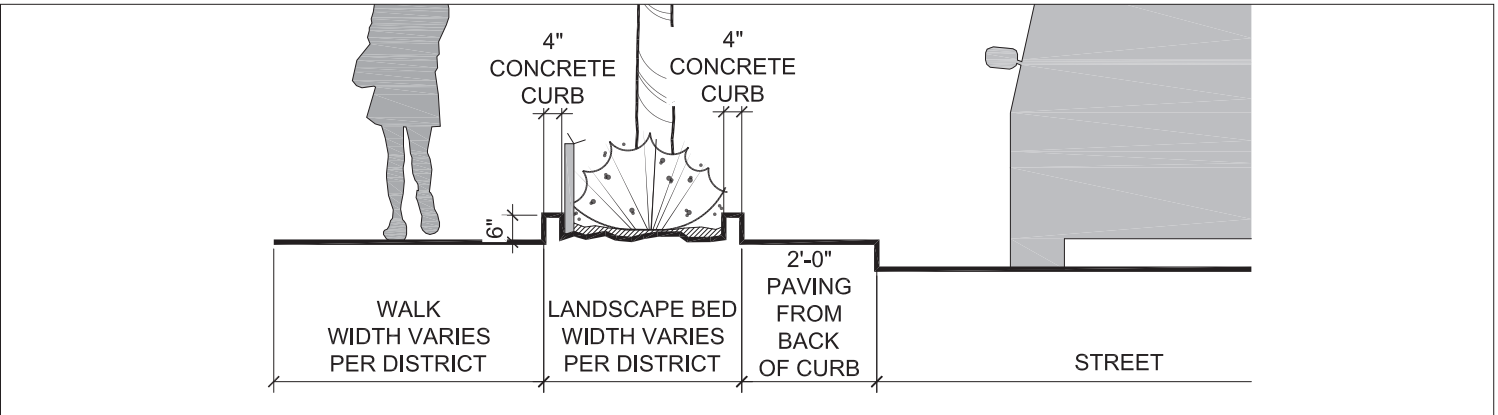
PROTOTYPICAL MARKET DISTRICT PERSPECTIVE



STREET LIGHT FIXTURE:
Hood - Cobra -head on mounting arm
Pole - Black spun aluminum



PLANTER POT:
Keystone Ridge: MT4-38 Midtown (Black)



LANDSCAPE BED:
4" Concrete Curb Edge (Gray) with Planter Fence



PLANTER FENCE:
Existing (Black)



SEATING ELEMENT:
Victor Stanley: 4' CR-10 with Mid-Rail (Black)



SPECIALTY PAVING:
4"x8" Endicott (Rose Blend)

NORTH CONNECTORS DISTRICT

The typical streetscape treatment within this district consists of a 5' amenity zone with a 5' pedestrian zone. The amenity zone consists of an alternating 5' planting area treatment (tree grate or curbed landscape gravel bed) spaced 25' apart. Concrete curbs should be installed at new locations and phased in as updates occur. Street trees are centered 30' on center within each planting area. Refer to street tree treatment section for appropriate tree selection.

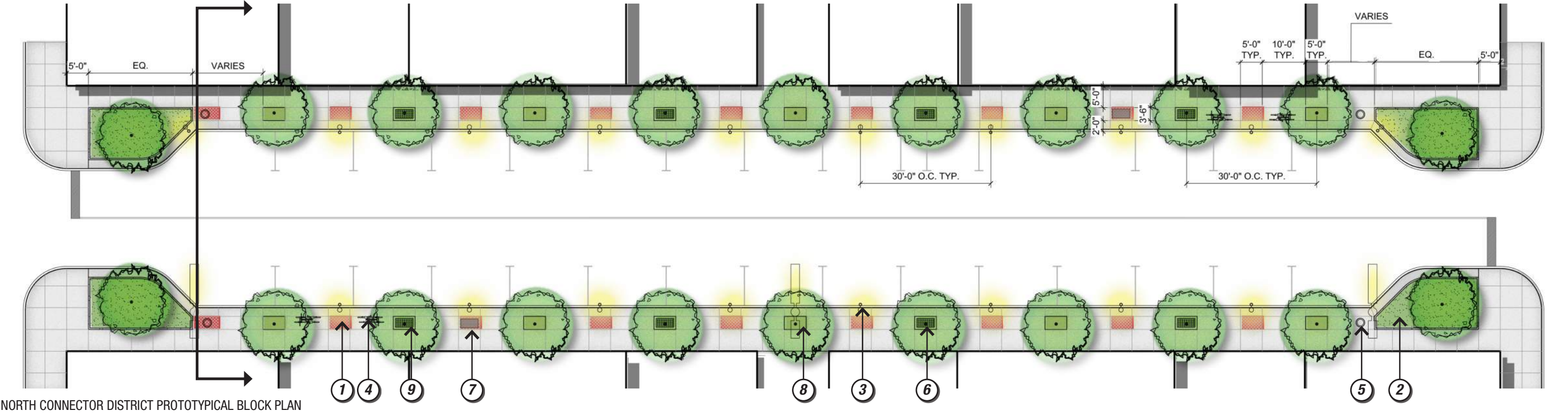
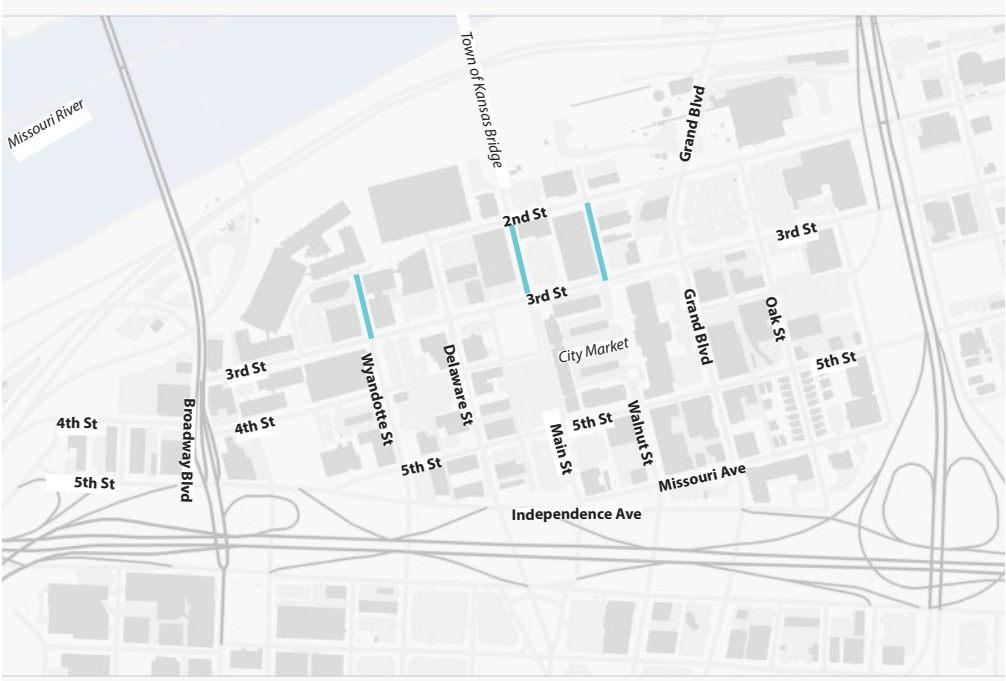
Planting beds should end 5' from buildings edge on both sides of the street. Although this prototypical plan shows bump outs at the ends of the street, some locations do not physically have the space for this installation. If a bump out is not feasible, the planting bed should be the same width and align with the other planting beds along the street. The first and last planters along each side of the block should also be equal in length. Specialty paving is a 5' x 3' panel centered between the planting areas.

Additional amenities found only within the 5' amenity zone consist of bike racks (to be placed near the closest building entry for best and highest usage), litter receptacles (to be placed closest to first and last planting bed), street lights placed 30' on center and seating elements. See block prototype for layout. Refer to the following page for specific streetscape amenities to be used within the North Connectors District.

LEGEND

- 1 Install accent paving within amenity zone.
- 2 Install low maintenance, shade tolerant groundcover within curbed landscape bed. Mulch to be one inch below top of curb. Hand water plant material for the first year for establishment.
- 3 Install pedestrian light fixture 30' on center behind back of curb within amenity zone.
- 4 Install four (4) bike racks along block. Bike racks should be within the amenity zone and should not interfere with pedestrian zone. Bike racks should be then placed near the closest building entry for best and highest usage. Surface mount bike rack.
- 5 Install four (4) litter receptacles along block. Place within amenity zone only.
- 6 Plant street trees 30' on center along block within tree grate or curbed landscape bed. See street tree section for information and guidelines on type of tree to install per district. Check on trees annually to remove any limbs lower than typical pedestrian height or any dead limbs.
- 7 Install two (2) seating elements along block. place within amenity zone.
- 8 Install tree grate within amenity zone. Tree grate to alternate with curbed landscape bed under each tree along block.
- 9 Decorative gravel within curbed landscape bed.

KEY MAP



NORTH CONNECTOR DISTRICT PROTOTYPICAL BLOCK PLAN



LITTER RECEPTACLE:
Victor Stanley: 24-gal. ES-135 (Black with Dome Lid)



BIKE RACK:
Anova: Metro, Existing Fixture (Black)



PEDESTRIAN LIGHT FIXTURE:
Hood- AAL: Univ. Med.Straight w/ Vertical slots (Blk)
Pole- AAL: PR4 14' Pole (Black)
Base- AAL: BC5 24"ht 2 Piece Base Cover (Blk)



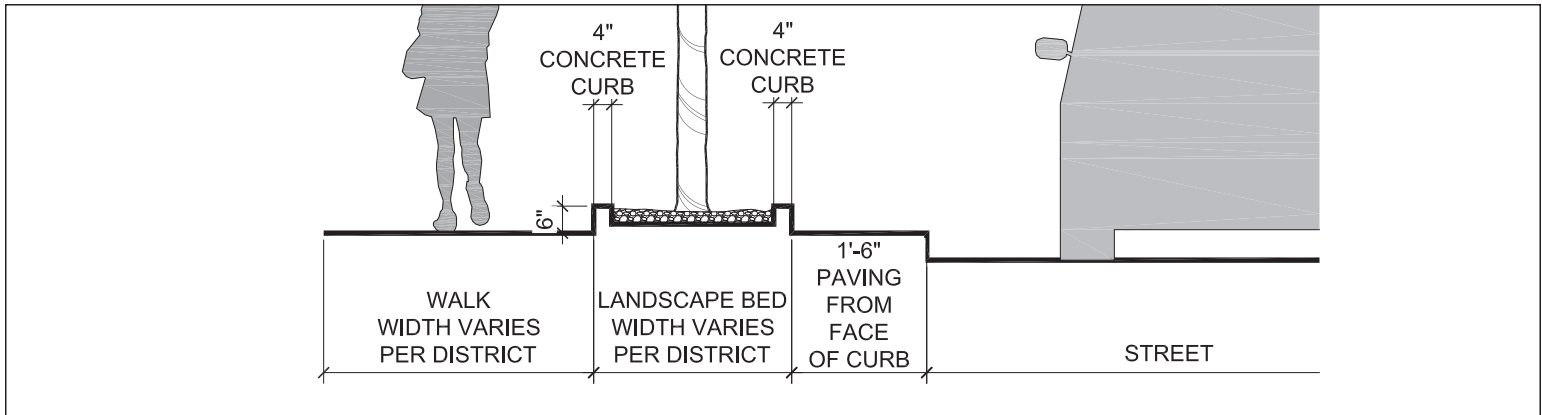
PROTOTYPICAL NORTH CONNECTOR DISTRICT CROSS SECTION



PROTOTYPICAL NORTH CONNECTOR DISTRICT PERSPECTIVE



STREET LIGHT FIXTURE:
Hood - Cobra -head on mounting arm
Pole - Black spun aluminum



PLANTING BED:
4" Concrete Curb Edge (Gray)



DECORATIVE GRAVEL:
Sturgis Materials: 3/8" (Desert Cream; 3" Depth)



PLANTER POT:
Keystone Ridge: MT4-38 Midtown (Black)



SEATING ELEMENT:
Victor Stanley: 4' CR-10 with Mid-Rail (Black)



ACCENT PAVING:
4"x8" Endicott (Rose Blend)

2ND STREET DISTRICT

The typical streetscape treatment within this district consists of a 6' amenity zone with an 8' pedestrian zone. The amenity zone consists of a curbed 20' in length planting bed with low maintenance planting material to match existing 2nd Street streetscape. If there is a seating element within the planting bed, no curb is needed. Street trees are centered 30' on center within each planting bed. Refer to street tree treatment section for appropriate tree selection.

Planting beds should end 5' from buildings edge on both sides of the street. Although this prototypical plan shows bump outs at the ends of the street, some locations do not physically have the space for this installation. If a bump out is not feasible, the planting bed should be the same width and align with the other planting beds along the street. The first and last planters along each side of the block should also be equal in length. There is no specialty paving for this district. However, jointing should match existing 2nd Street layout. See block prototype layout to reference jointing layout.

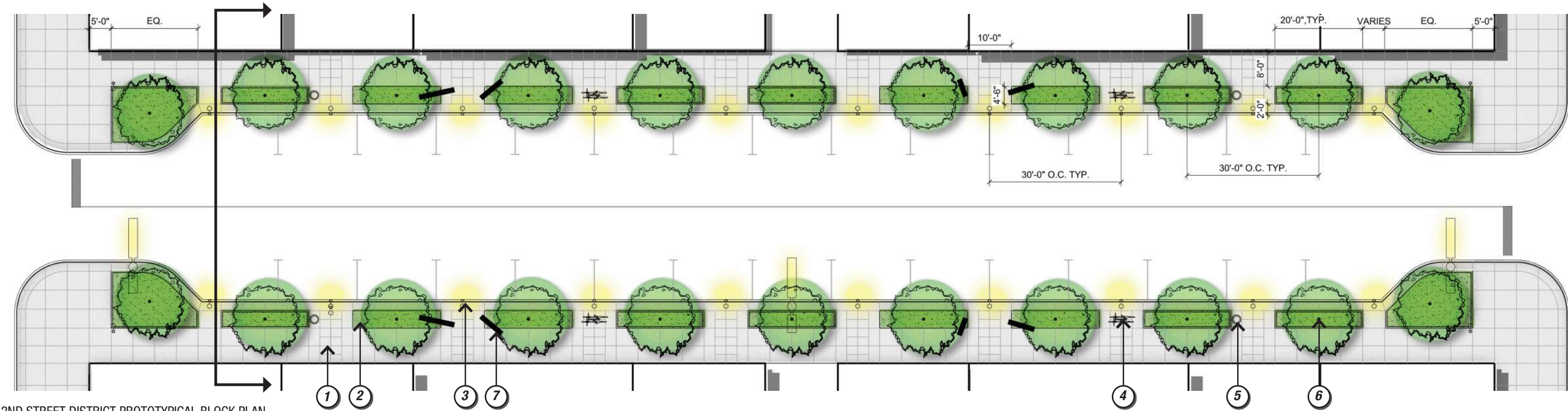
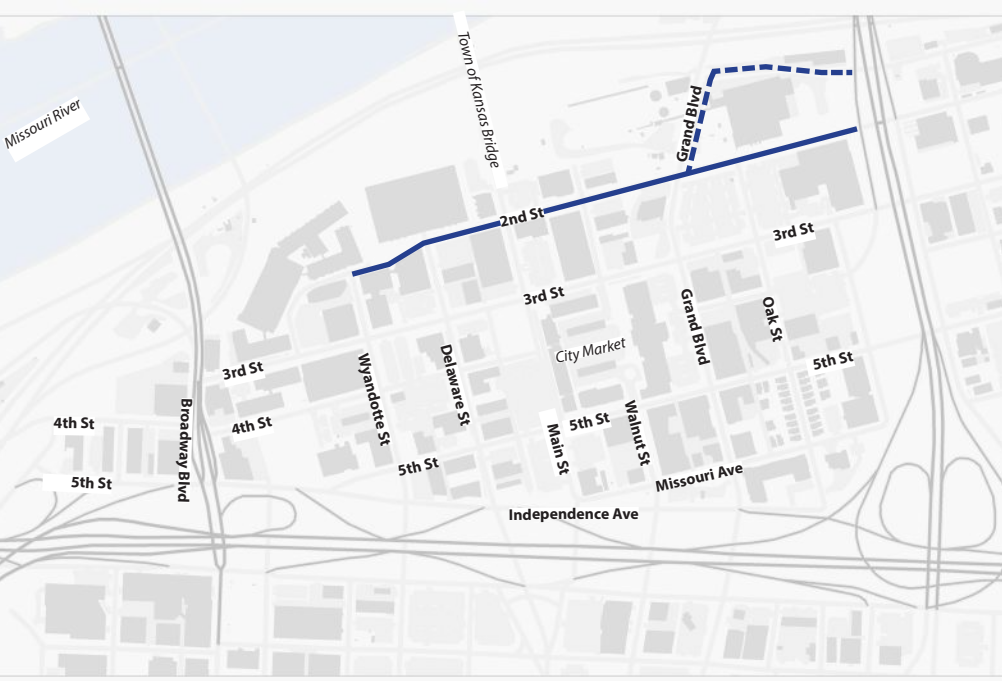
Additional amenities found only within the 6' amenity zone consist of bike racks (to be placed near the closest building entry for best and highest usage), litter receptacles, street lights placed 30' on center, and seating elements. See block prototype for layout. Refer to the following page for specific streetscape amenities to be used within the 2nd Street District.

----- Standards will also apply to the future 1st Street streetscape if developed (shown on key map as dashed).

LEGEND

- 1 Match existing 2nd Street jointing pattern layout.
- 2 Install same plant material as currently installed on 2nd Street. Mulch to be one inch below top of curb or adjacent pavement. Hand water plant material for the first year for establishment.
- 3 Install pedestrian light fixture 30' on center behind back of curb within amenity zone.
- 4 Install four (4) bike racks along block. Bike racks should be within the amenity zone and should not interfere with pedestrian zone. Bike racks should be then placed near the closest building entry for best and highest usage.
- 5 Install four (4) litter receptacles along block. Place within amenity zone only.
- 6 Plant street trees 30' on center along block within landscape bed. See street tree section for information and guidelines on type of tree to install per district. Check on trees annually to remove any limbs lower than typical pedestrian height or any dead limbs.
- 7 Install eight (8) seating elements along block - match existing 2nd Street seating elements. Place within amenity zone. Planting beds with seating element to be flush with adjacent paving (not curbed).

KEY MAP



2ND STREET DISTRICT PROTOTYPICAL BLOCK PLAN



LITTER RECEPTACLE:
Landscape Forms: Park Vue (Black + Fog)



BIKE RACK:
Landscape Forms: Bola (Color to Match Streetscape)



PEDESTRIAN LIGHT FIXTURE:
Hood - AAL: Universal Medium Straight with Vertical slots (Black)
Pole - AAL: PR4 14' Pole (Black)
Base - AAL: BC5 24"ht 2 Piece Decorative Base Cover (Black)



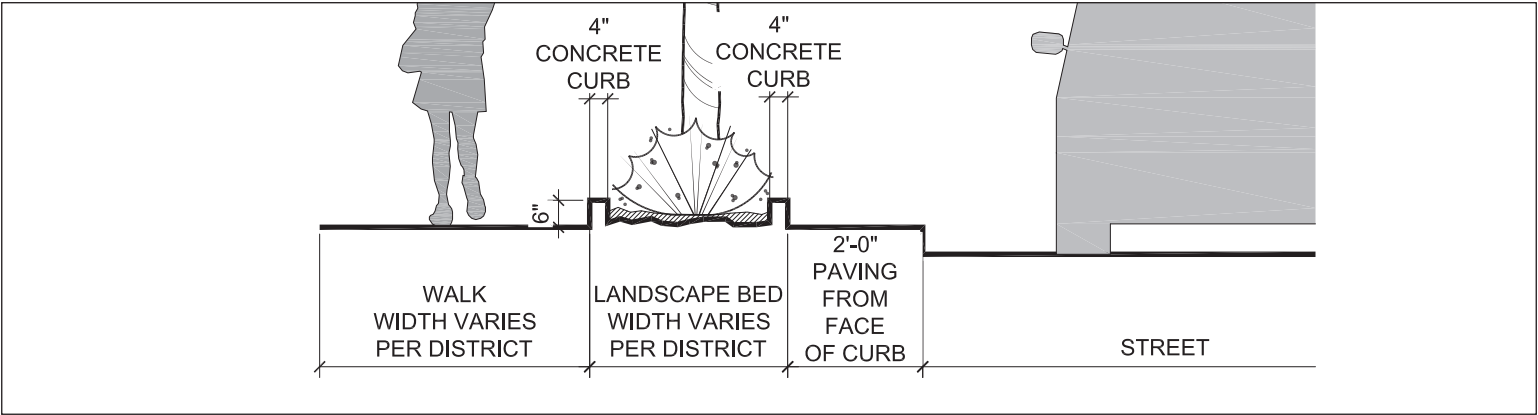
PROTOTYPICAL 2ND STREET DISTRICT CROSS SECTION



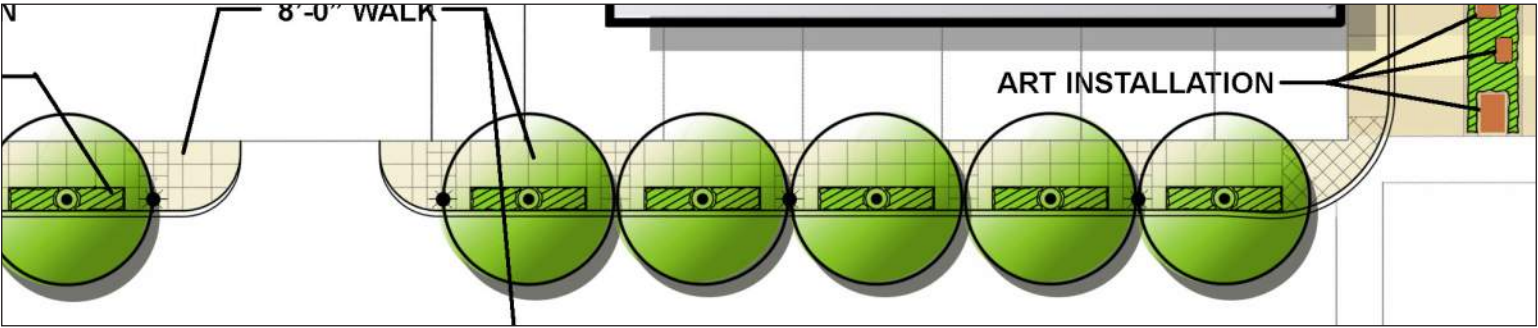
STREET LIGHT FIXTURE:
Hood - Cobra -head on mounting arm
Pole - Black spun aluminum



SEATING ELEMENT:
Steel I-beam to Match Existing 2nd Street (Black)



PLANTING BED:
4" Concrete Curb Edge (Gray)



SPECIALTY PAVING:
Jointing Pattern to Match Existing 2nd Street

DELAWARE STREET DISTRICT

The typical streetscape treatment within this district consists of a 6' amenity zone with a 9' pedestrian zone. The amenity zone consists of a 10' curbed planting bed spaced 20' apart, with low maintenance planting material. A decorative planting fence lines the pedestrian zone behind the 4" concrete curb of the planting bed. Concrete curbs and planting fence should be installed at new locations and phased in as updates occur. Street trees are centered 30' on center within each planting bed. Refer to street tree treatment section for appropriate tree selection.

Planting beds should end 5' from buildings edge on both sides of the street. Although this prototypical plan shows bump outs at the ends of the street, some locations do not physically have the space for this installation. If a bump out is not feasible, the planting bed should be the same width and align with the other planting beds along the street. The first and last planters along each side of the block should also be equal in length. Specialty paving is within the entire 6' amenity zone between planting beds to further define the two zones.

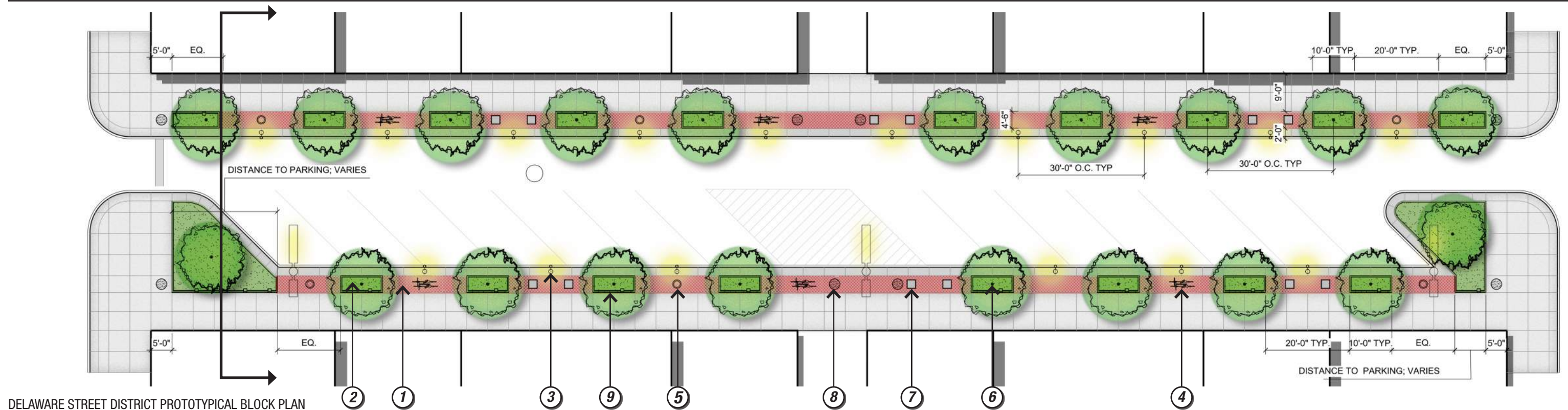
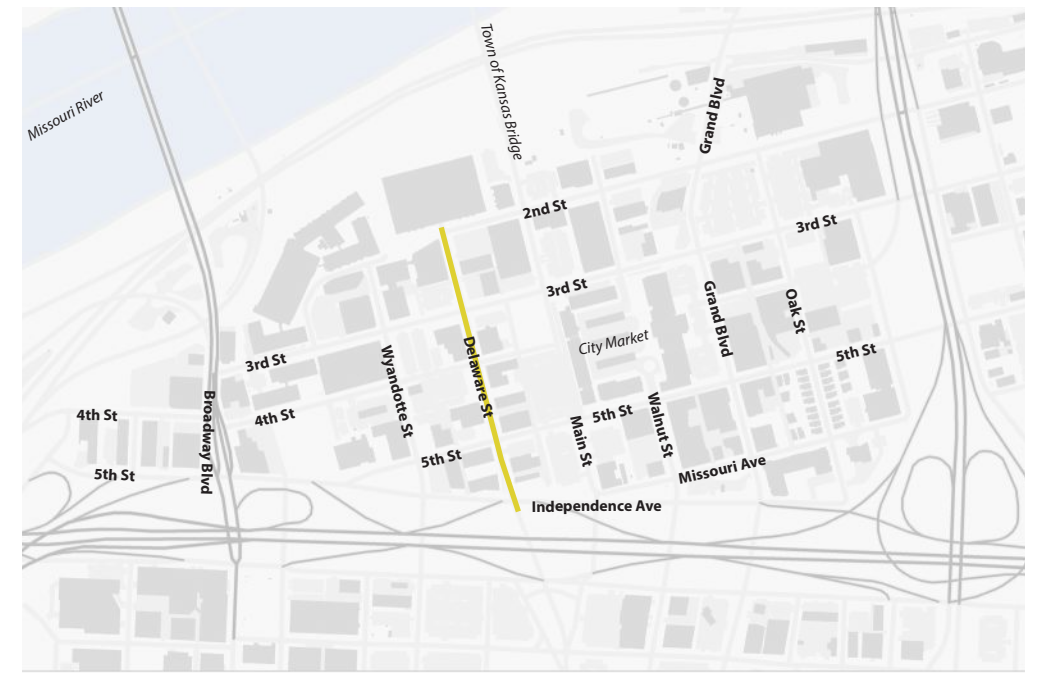
Additional amenities found only within the 6' amenity zone consist of bike racks (to be placed near the closest building entry for best and highest usage), litter receptacles, street lights placed 30' on center, seating elements and planter pots. See block prototype for layout. Refer to the following page for specific streetscape amenities to be used within the Delaware Street District.

Unlike other districts, Delaware Street introduces a completely new aesthetic that would require completely reconstructing the streetscape at one time to be successful. In the meantime, if improvements occur along the corridor that damage or disturb the streetscape, the developer or property owner should replace the streetscape to match existing conditions.

LEGEND

- 1 Install specialty paving within amenity zone.
- 2 Install low maintenance, shade tolerant plant material 2-3' tall max within curbed landscape bed. Mulch to be one inch below top of curb. Hand water plant material for the first year for establishment.
- 3 Install pedestrian light fixture 30' on center behind back of curb within amenity zone. Unless a complete streetscape renovation is undertaken, maintain existing pedestrian light poles in place while introducing other approved individual fixtures over time. Schedule for replacement to be determined by RMCID staff/board.
- 4 Install six (6) bike racks along block. Bike racks should be within the amenity zone and should not interfere with pedestrian zone. Bike racks should be then placed near the closest building entry for best and highest usage. Surface mount bike rack.
- 5 Install six (6) litter receptacles along block. Place within amenity zone only.
- 6 Plant street trees 30' on center along block within curbed landscape bed. See street tree section for information and guidelines on type of tree to install per district. Check on trees annually to remove any limbs lower than typical pedestrian height or any dead limbs.
- 7 Install twelve (12) seating elements along block. Place within amenity zone.
- 8 Install planter pots at key locations to highlight within a block. Key locations include but are not limited to: main pedestrian crossings, building entries and intersections. Planter pots to be planted with annuals that provide bright colors. Planter pots to be placed within amenity zone only.
- 9 Install planter fence panels within landscape bed. Panels to be parallel with pedestrian zone.

KEY MAP





LITTER RECEPTACLE:
Keystone Ridge: 32-gal. MT3-32
(Black; with Elevated Lid)



BIKE RACK:
Anova: Metro, Existing Fixture (Black)



PEDESTRIAN LIGHT FIXTURE:
Hood- AAL: Univ. Med.Straight w/ Vertical slots (Blk)
Pole- AAL: PR4 14' Pole (Black)
Base- AAL: BC5 24"ht 2 Piece Base Cover (Blk)



PROTOTYPICAL DELAWARE STREET DISTRICT CROSS SECTION LOOKING NORTH



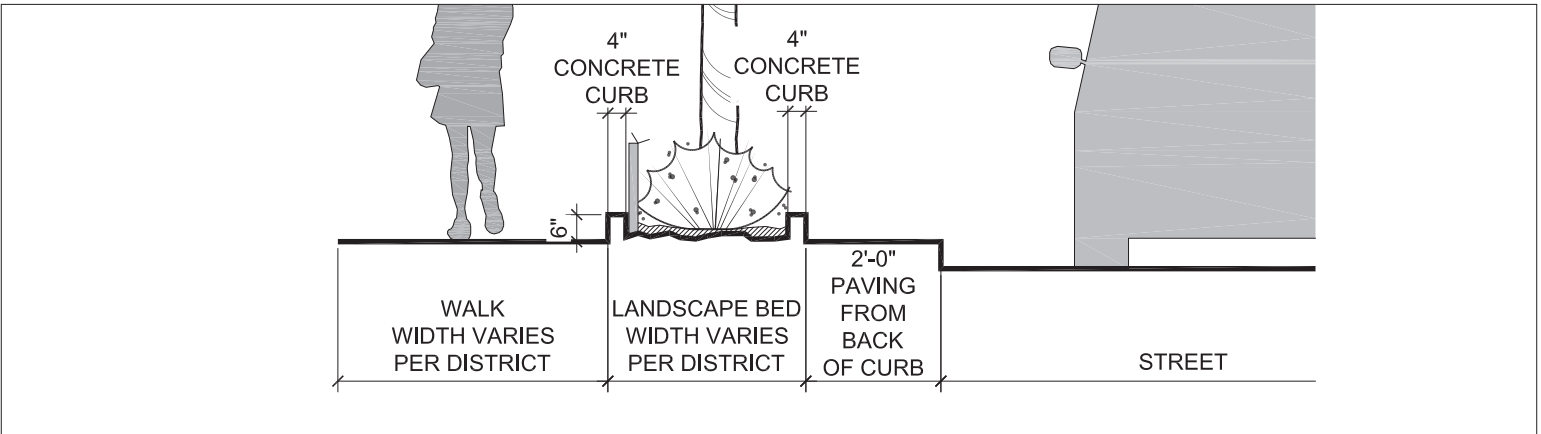
PROTOTYPICAL DELAWARE STREET DISTRICT PERSPECTIVE LOOKING NORTH



STREET LIGHT FIXTURE:
Hood - Cobra -head on mounting arm
Pole - Black spun aluminum



PLANTER POT:
Turnesol: Zena Family (Sandblast - White)



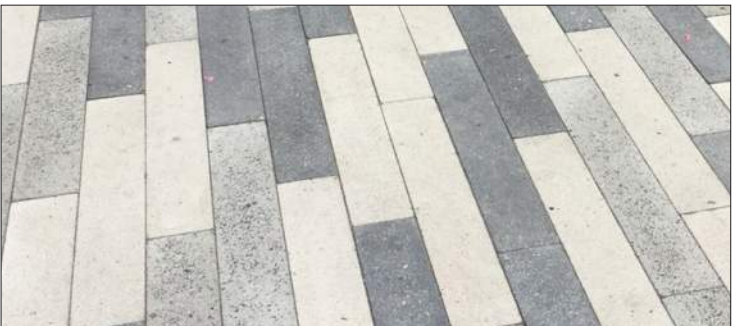
LANDSCAPE BED:
4" Concrete Curb Edge (Gray) with Planter Fence



PLANTER FENCE:
Metal (Black)



SEATING ELEMENT:
Landscape Forms: 2'x2' Socrates (Black)



SPECIALTY PAVING:
Unilock Eco-line (Alternating Grays (Three))

RIVER MARKET EAST AND WEST DISTRICT

The typical streetscape treatment within this district consists of a 5' amenity zone with a 5' pedestrian zone. The amenity zone consists of a 10' curbed landscape bed with decorative gravel spaced 20' apart. Concrete curbs should be installed at new locations and phased in as updates occur. Street trees are centered 30' on center within each planting area. Refer to street tree treatment section for appropriate tree selection.

Planting beds should be centered along the typical block, with an equal amount of space between building edge and nearest planter on both ends of the street. Specialty paving is an accent brick soldier course along the entire length of the block, 1'-4" behind back of curb.

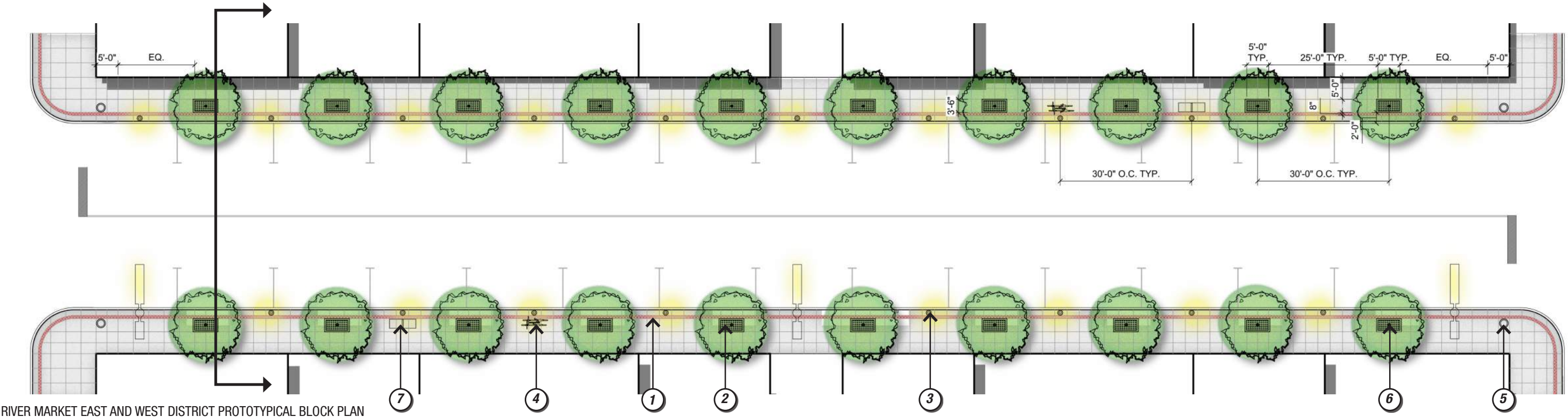
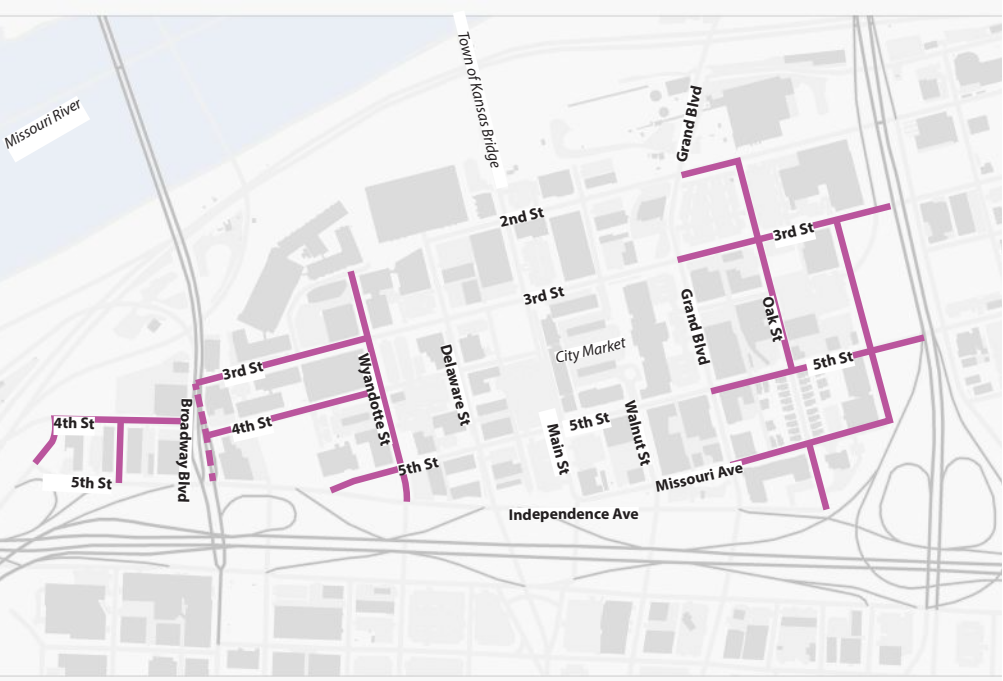
Additional amenities found only within the 5' amenity zone consist of bike racks (to be placed near the closest building entry for best and highest usage), litter receptacles, street lights placed 60' on center, and seating elements. See block prototype for layout. Refer to the following page for specific streetscape amenities to be used within the East and West District.

----- Streetscape guidelines in this segment refer to improvements on the ground on Broadway, under the Hwy. 169 bridge. Streetscape improvements should be consistent with the River Market West standards with the exception that areas under the bridge do not need to include street trees. If the bridge is relocated at some point in the future, the full palette of materials should be utilized.

LEGEND

- 1 Install accent paving within amenity zone.
- 2 Install decorative gravel within curbed landscape bed.
- 3 Install pedestrian light fixture 30' on center behind back of curb within amenity zone.
- 4 Install two (2) bike racks along block. Bike racks should be within the amenity zone and should not interfere with pedestrian zone. Bike racks should be then placed near the closest building entry for best and highest usage.
- 5 Install four (4) litter receptacles along block. Place within amenity zone only.
- 6 Plant street trees 30' on center along block within tree grate or curbed landscape bed. See street tree section for information and guidelines on type of tree to install per district. Check on trees annually to remove any limbs lower than typical pedestrian height or any dead limbs.
- 7 Install two (2) seating elements along block. Place within amenity zone.

KEY MAP



RIVER MARKET EAST AND WEST DISTRICT PROTOTYPICAL BLOCK PLAN



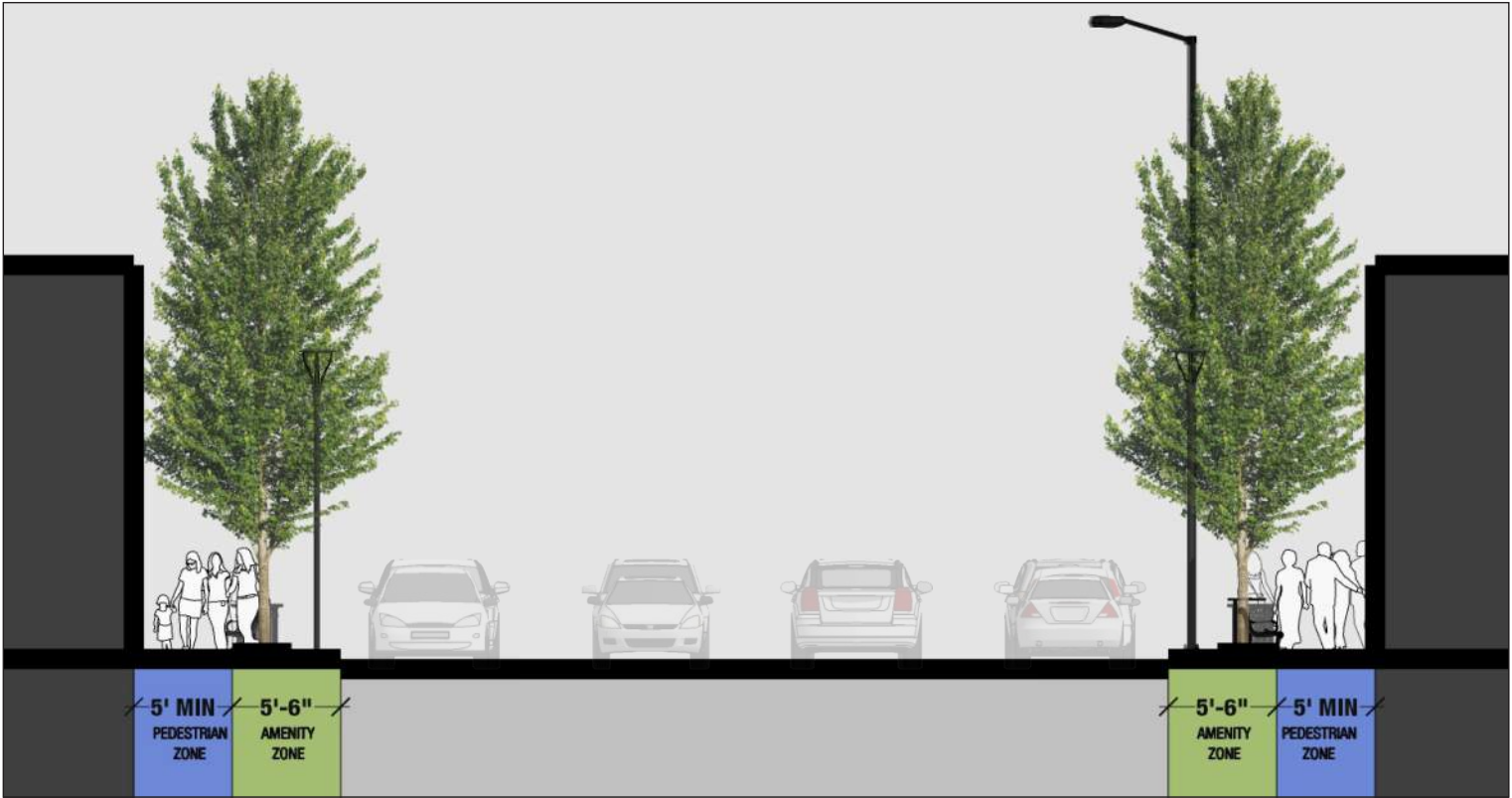
LITTER RECEPTACLE:
Victor Stanley: 24-gal. ES-135 (Black; w/ Dome Lid)



BIKE RACK:
Anova: Metro, Existing Fixture (Black)



PEDESTRIAN LIGHT FIXTURE:
Hood - Sternberg Lighting: Solana (Black)
Pole - AAL: PR4 14' Pole (Black)
Base - AAL: BC5 24"ht 2 Piece Base Cover (Black)



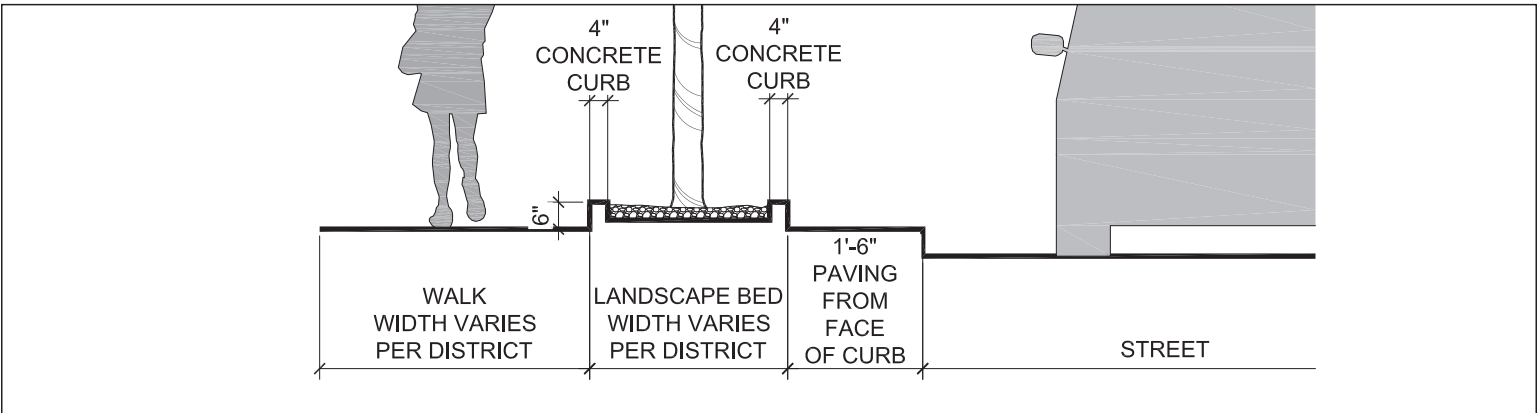
PROTOTYPICAL RIVER MARKET EAST AND WEST DISTRICT CROSS SECTION



PROTOTYPICAL RIVER MARKET EAST AND WEST DISTRICT PERSPECTIVE



DECORATIVE GRAVEL:
Sturgis Materials: 3/8" (Desert Cream; 3" Depth)



PLANTING BED:
4" Concrete Curb Edge (Gray)



STREET LIGHT FIXTURE:
Hood - Cobra -head on mounting arm
Pole - Black spun aluminum



SEATING ELEMENT:
Victor Stanley: 4' CR-10 with Mid-Rail (Black)



SPECIALTY PAVING:
4"x8" Endicott (Rose Blend)

VISUAL EDGE DISTRICT

The typical streetscape treatment within this district consists of a 7' amenity zone with a 10' pedestrian zone. The amenity zone consists of a continuous tree lawn 5' in width and a 2' concrete edge behind the back of curb for light poles. Tree lawn should be planted with low maintenance groundcover. Street trees are centered 30' on center within each planting bed. Refer to street tree treatment section for appropriate tree selection.

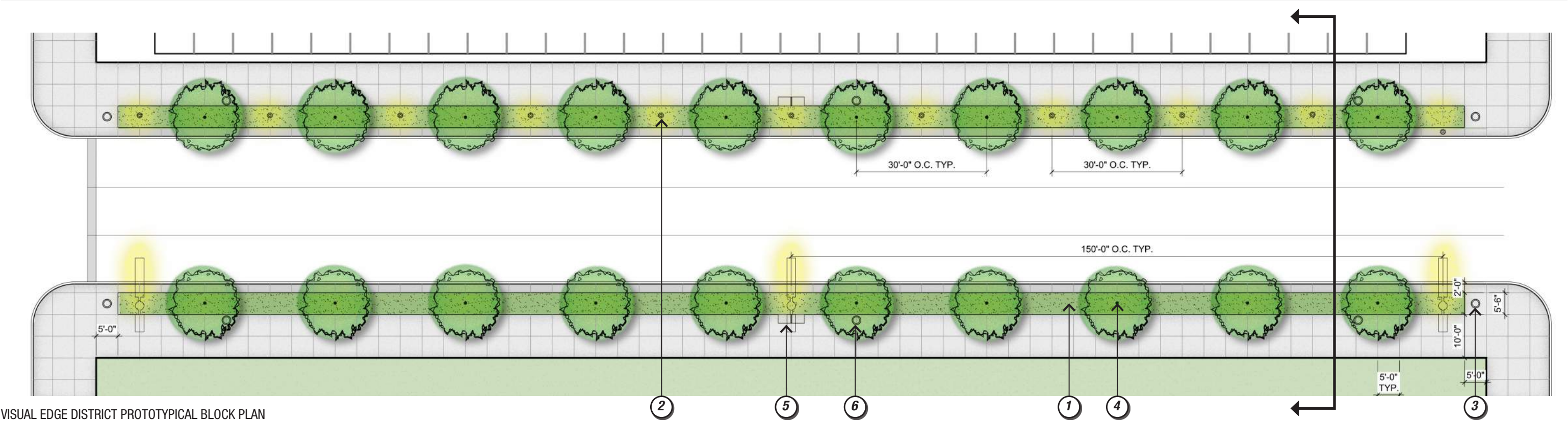
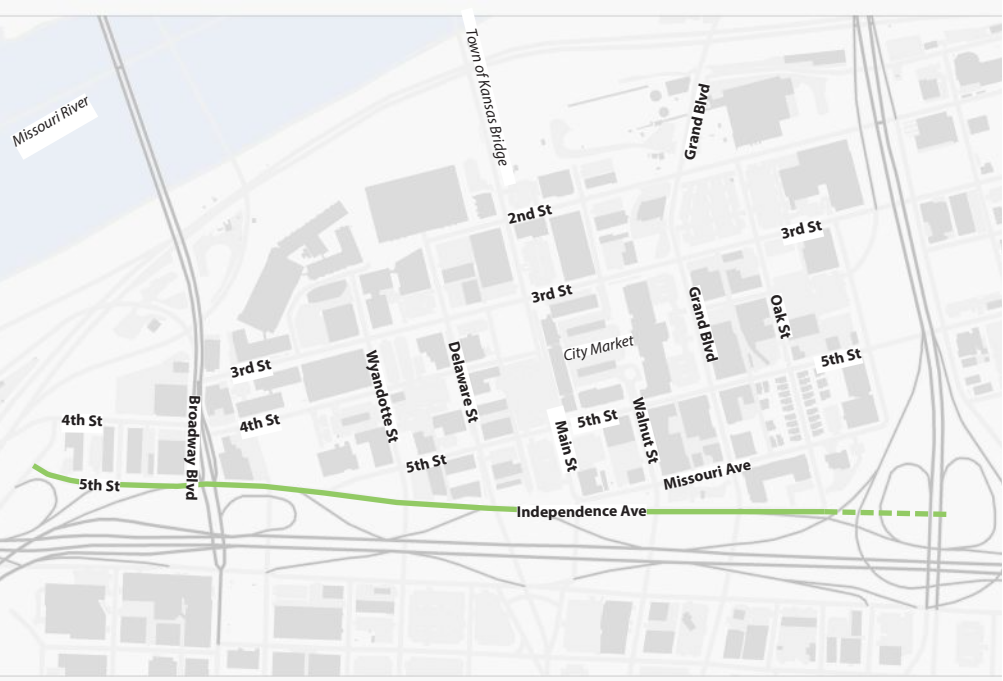
Planting beds should end 5' from buildings edge on both sides of the street. There is no specialty paving for this district. Additional amenities found throughout this district consist of litter receptacles, street lights placed 150' on center, with pedestrian lights placed 30' on center, and seating elements. Street lights to match KCMO city standards. See block prototype for layout. Refer to the following page for specific streetscape amenities be used within the Visual Edge District.

----- Standards will also apply to the future Independence Ave. connection to the East if developed (shown on key map as dashed).

LEGEND

- 1 Install low maintenance, shade tolerant groundcover within landscape bed. Mulch to be one inch below top of sidewalk edge. Hand water plant material for the first year for establishment.
- 2 Install pedestrian light fixture 30' on center behind back of curb within amenity zone.
- 3 Install four (4) litter receptacles along block. Place within amenity zone only.
- 4 Plant street trees 30' on center along block within landscape bed. See street tree section for information and guidelines on type of tree to install per district. Check on trees annually to remove any limbs lower than typical pedestrian height or any dead limbs.
- 5 Install two (2) seating elements along block. Place within amenity zone.
- 6 Install planter pots within pedestrian walkway.

KEY MAP



VISUAL EDGE DISTRICT PROTOTYPICAL BLOCK PLAN



LITTER RECEPTACLE:
Victor Stanley: 24-gal. ES-135 (Black with Dome Lid)



SEATING ELEMENT:
Victor Stanley: 4' CR-10 with Mid-Rail (Black)



PEDESTRIAN LIGHT FIXTURE:
Hood - Sternberg Lighting: Solana (Black)
Pole - AAL: PR4 14' Pole (Black)
Base - AAL: BC5 24"ht 2 Piece Decorative Base Cover (Black)



PROTOTYPICAL VISUAL EDGE DISTRICT CROSS SECTION LOOKING WEST



STREET LIGHT FIXTURE:
Hood - Cobra -head on mounting arm
Pole - Black spun aluminum



PLANTER POT:
Keystone Ridge: MT4-38 Midtown (Black)



PROTOTYPICAL VISUAL EDGE DISTRICT PERSPECTIVE LOOKING WEST

APPROACH

STREET TREE TREATMENT

In addition to streetscape amenities are the specific street tree treatment throughout the River Market neighborhood. Street trees should be selected based on their street condition. There are three street conditions that would inform which trees are allowed. The three street tree conditions are as follows:

- 1. Sidewalk at overhead utilities.
- 2. Sidewalk width equal to or more than 4 feet.
- 3. Sidewalk widths less than 4 feet and/or along streetcar route.

Each street condition has a variety of different trees allowed. Providing different trees to choose from allows for a healthy variety of choices per street condition while maintaining a level of consistency throughout the neighborhood. In addition to specific street trees to use, each block should have a maximum of three and a minimum of two different tree species per block. All trees planted in the urban environment should use a growth regulator application to maximize the length of life of the tree by minimizing growth maintainance at utility conflict areas. Trees should be applied at the time of pruning to allow regrowth and more natural look. Growth regulators should be applied per manufacturers specifications.

SHORT TREES (SIDEWALK AT OVERHEAD UTILITIES)



CITY SPRITE ZELKOVA



PAPERBARK MAPLE



JAPANESE LILAC TREE



TATARIAN MAPLE



PACIFIC SUNSET MAPLE

STREET TREES (SIDEWALK WIDTH EQUAL TO OR MORE THAN 4 FEET)



AUTUMN GOLD GINKGO (MALE ONLY)



EMERALD SUNSHINE ELM



SILVER LEAF LINDEN

COLUMNAR TREES (SIDEWALK WIDTH LESS THAN 4’ AND/OR ALONG STREETCAR ROUTE)



ENDOWMENT SUGAR MAPLE



TULIP TREE



FASTIGIATA HORNBEAM



ZELKOVA SERRATA ‘MUSAHINO’



CRIMSON SPIRE WHITE OAK

APPROACH

SIGNAGE

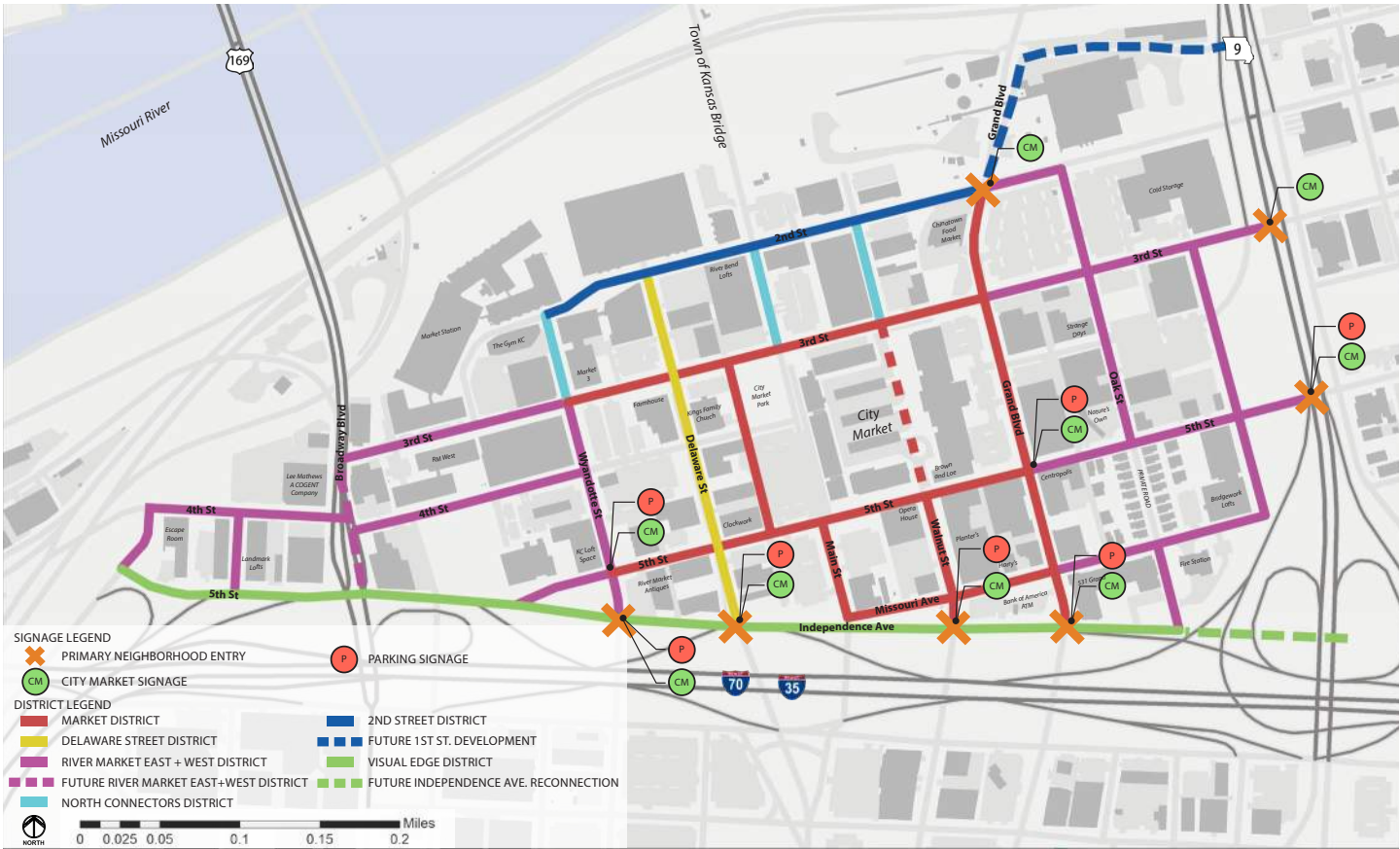
NEIGHBORHOOD SIGNAGE

The River Market has two existing monument signs for neighborhood identity – one at Walnut Street and Independence Avenue, the other at Delaware Street and Independence Avenue. Building signage and murals have always been a defining element within the neighborhood and are much more visible than ground mounted signage elements. Building signage/murals are the proposed neighborhood identity standard. In addition to visibility, building murals also can be a more cost-effective approach with greater impact. After public input, seven key intersections were identified as primary neighborhood entries. Six of these locations have an existing or the potential to include a building mural. These include the following, with existing/potential building mural solution in parenthesis:

- 2nd Street and Grand Boulevard (China Food Market)
- 3rd Street and Highway 9 (Cold Storage)
- 5th Street and Highway 9 (Huong Que Market)
- Independence Ave and Walnut Street (existing Planters mural)
- Independence Ave and Delaware Street (Delaware Lofts Building- south side)
- Independence Ave and Wyandotte Street (existing River Market Antiques mural)

Murals should be coordinated with building owners, city staff and the RMCID to ensure mural designs are in alignment with the overall streetscape and amenity standards. Below are some local examples of building murals around the neighborhood today and in the past for reference as acceptable mural design.

Ground mounted signage should be utilized only at intersections where building mural space is not efficient. Ground mounted signage should have enough visibility to it from different approach locations. The sign should complement the materials already found within the River Market neighborhood but should not blend in with the material directly behind it. The ground mounted signage should have intricate detailing that is reflective of the unique architecture found throughout the neighborhood. The seventh primary neighborhood entry that lacks building mural space and has the potential for a ground mounted solution at the intersection of Independence Ave & Grand Boulevard. Ground mounted signage should be coordinated with property owners, city staff and the RMCID to ensure signage design is in alignment with the overall streetscape and amenity standards. Below are some examples of surrounding architectural details found within the neighborhood today as acceptable design inspiration.



Signage Key Map



China Food Market - North Side (2nd Street & Grand Boulevard)



Delaware Lofts Building - South Side (Independence Ave. & Delaware Street)



Cold Storage - East Side (3rd Street & Highway 9)



Architectural Inspiration



Huong Que Market - East Side (5th Street and Highway 9)

APPROACH

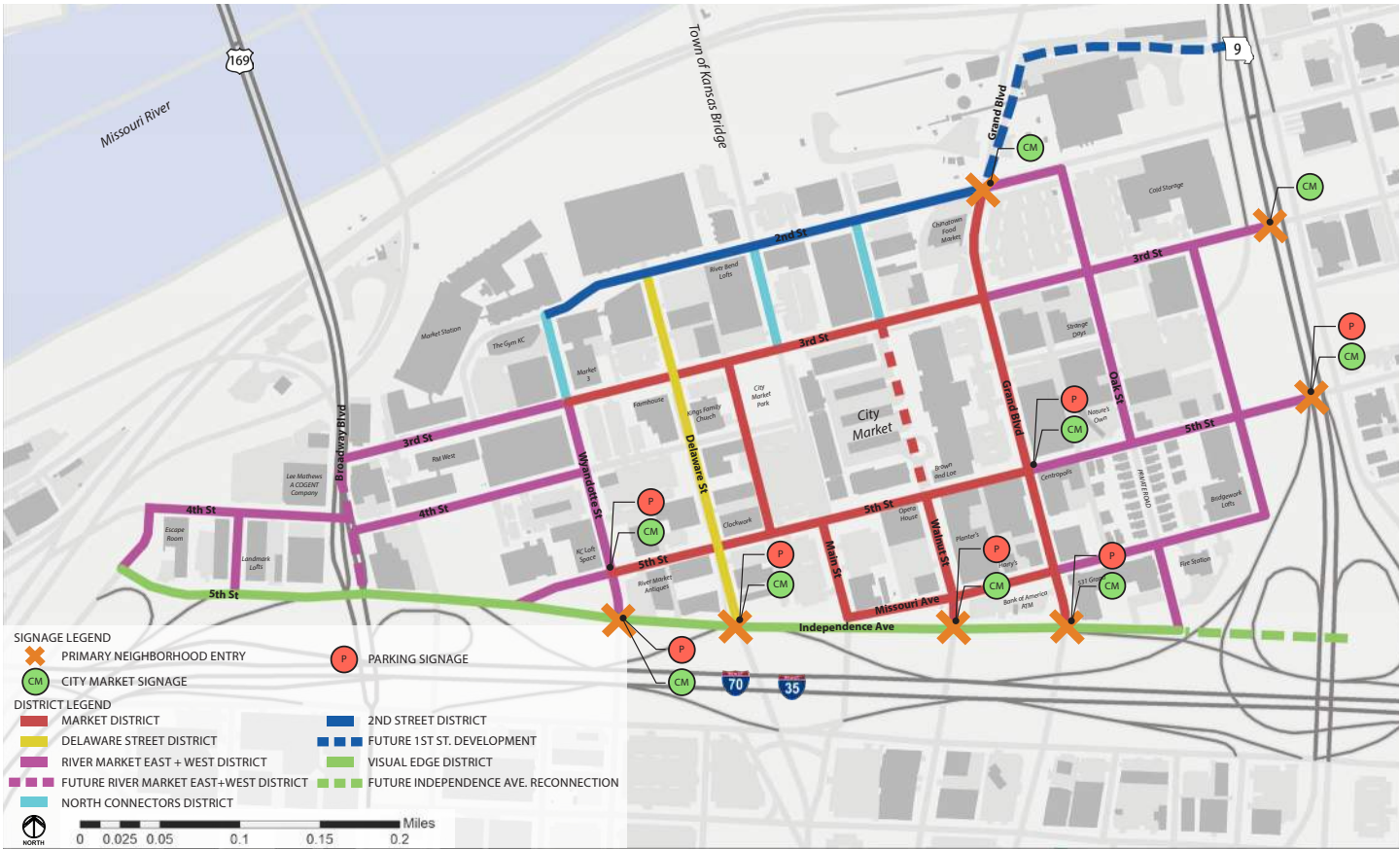
WAYFINDING SIGNAGE

Wayfinding signage should direct visitors to two locations: City Market and Public Parking. To minimize clutter, signage should be attached to either existing light poles or stop signs throughout the neighborhood. Both light poles and stop sign poles that wayfinding blades attach to should be black and ornate to blend in with the standards of the River Market. Wayfinding signage font should be ‘High Tower Text’ to complement the ‘City Market’ archway font. The blade colors should be consistent throughout – ‘City Market’ to be green (119,183,97) to complement the green found within the archway, while the orange for ‘Public Parking’ should be (252,84,71) to complement the orange found within the archway. Arrows should be solid and black. Eight locations have potential wayfinding signs identified, with specific content per location also identified.

The image in the bottom right illustrates the wayfinding standard for both a light pole and stop sign pole. Wayfinding signage should be coordinated with city staff and the RMCID to ensure signage design is in alignment with the overall streetscape and amenity standards.



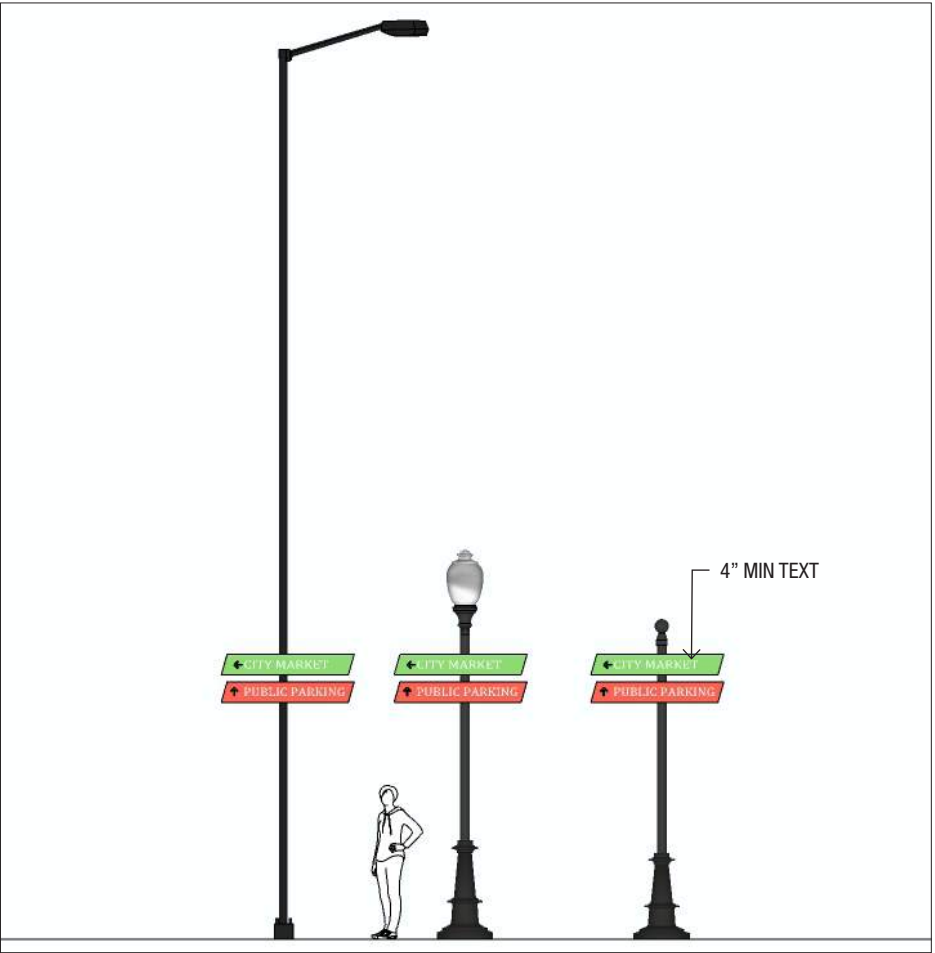
City Market Emblem



Signage Key Map



Wayfinding Signage Character Images



Wayfinding Signage

ADDITIONAL ELEMENTS FOR CONSIDERATION

Although not specifically included within the overall streetscape and amenities plan for the River Market, the following topics surfaced and are addressed for future planning purposes.

PEDESTRIAN SAFETY

During the public outreach, the community provided feedback that identified key intersections that have the opportunity for improvement. The intersections identified for future improvements are as follows:

- 5th and Independence
- 5th and Wyandotte
- Missouri and Grand
- 3rd and Wyandotte
- 3rd and Grand

Potential improvements to these intersections vary per location, but include elements such as creating bump outs, clearly marking crosswalks, adding stop signs, and narrowing the street footprint. The design team has provided specific concept solutions for each intersection identified that can be found within the appendix of this document. Prior to construction on any pedestrian safety improvement projects, design to be submitted for approved by Public Works.

1 CREATE BUMP OUTS

Utilize existing unused space to create a curbed bump out. add landscaping where appropriate.

2 MARK CROSSWALKS

Mark crosswalks to increase awareness of pedestrian crossing areas.

3 ADD NEW STOP SIGN

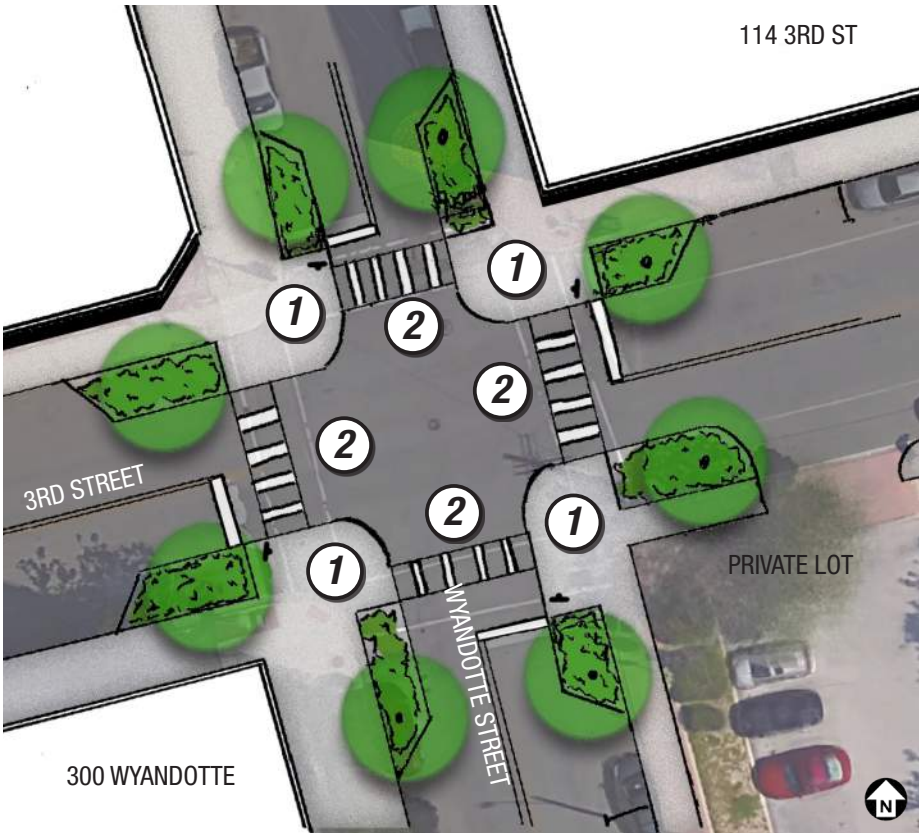
Install stop sign to clarify vehicular confusion and increase pedestrian safety.

4 NARROW STREET

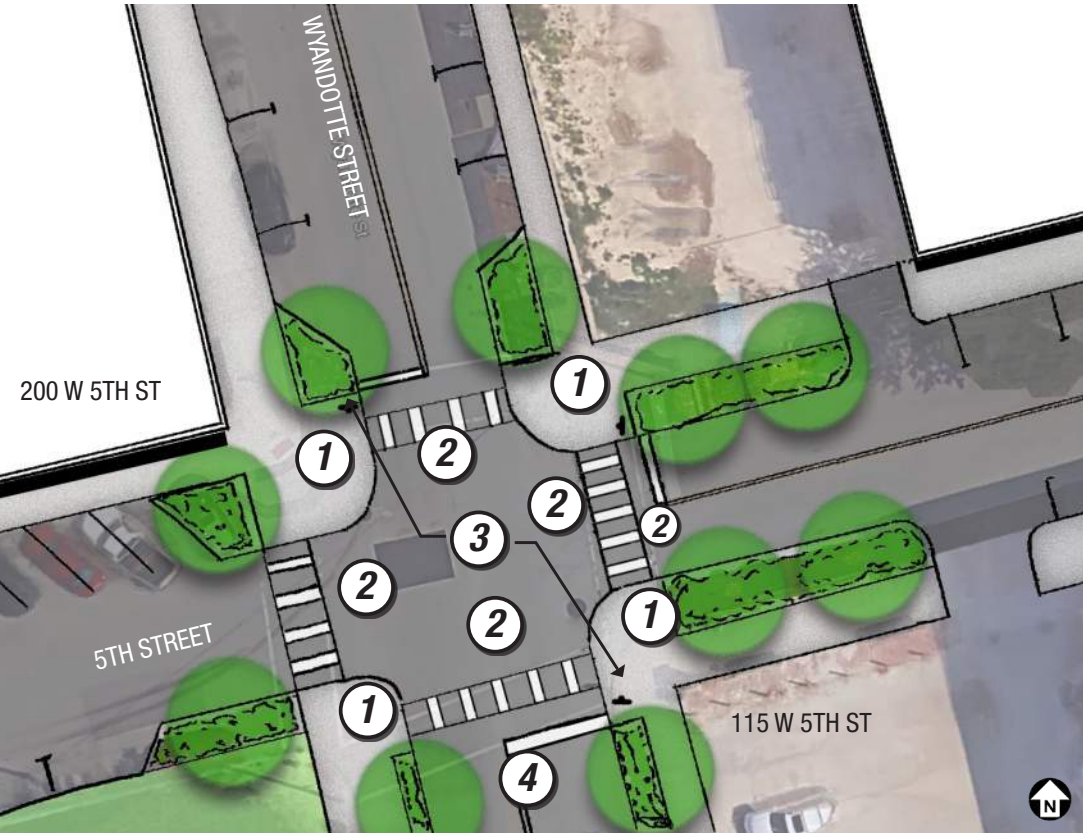
Adjust curb line to narrow street footprint and increase pedestrian amenity space.

5 DESIGN CROSSWALK

Provide vibrant, colorful crosswalk design to increase awareness of pedestrian crossing zones.



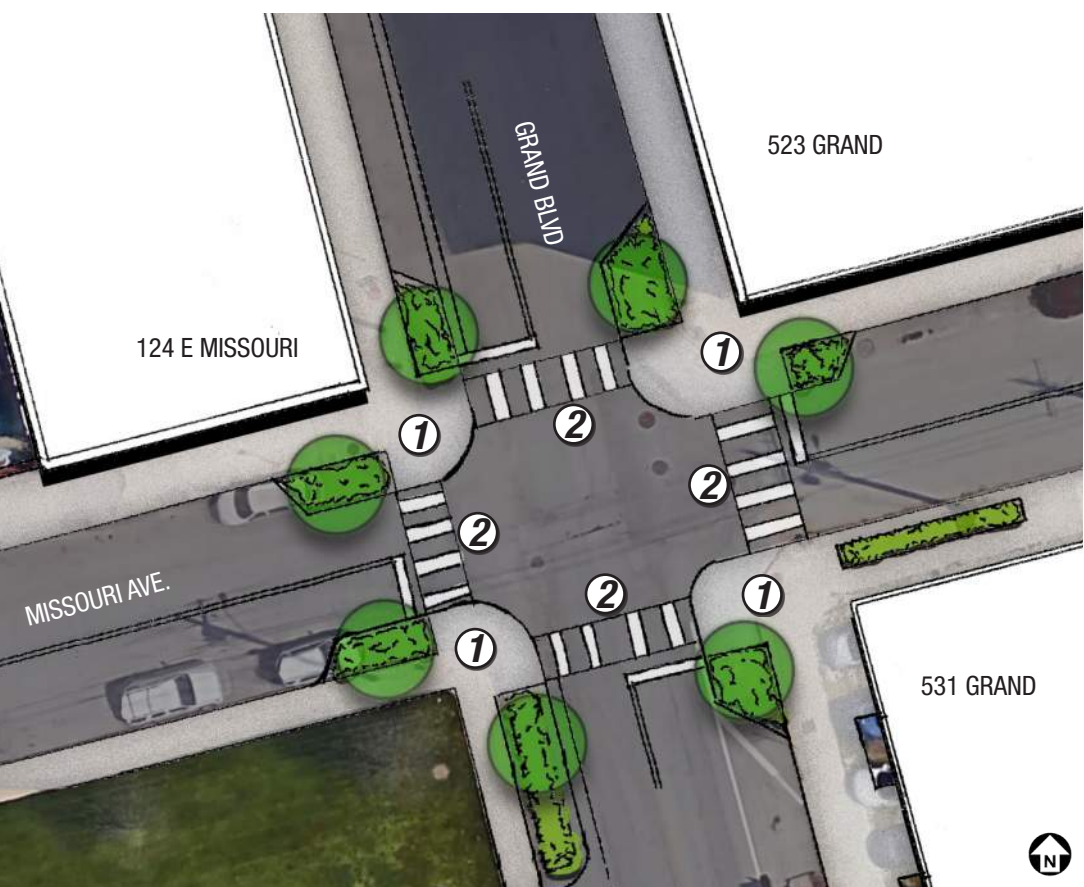
Intersection of 3rd & Wyandotte



Intersection of 5th & Wyandotte



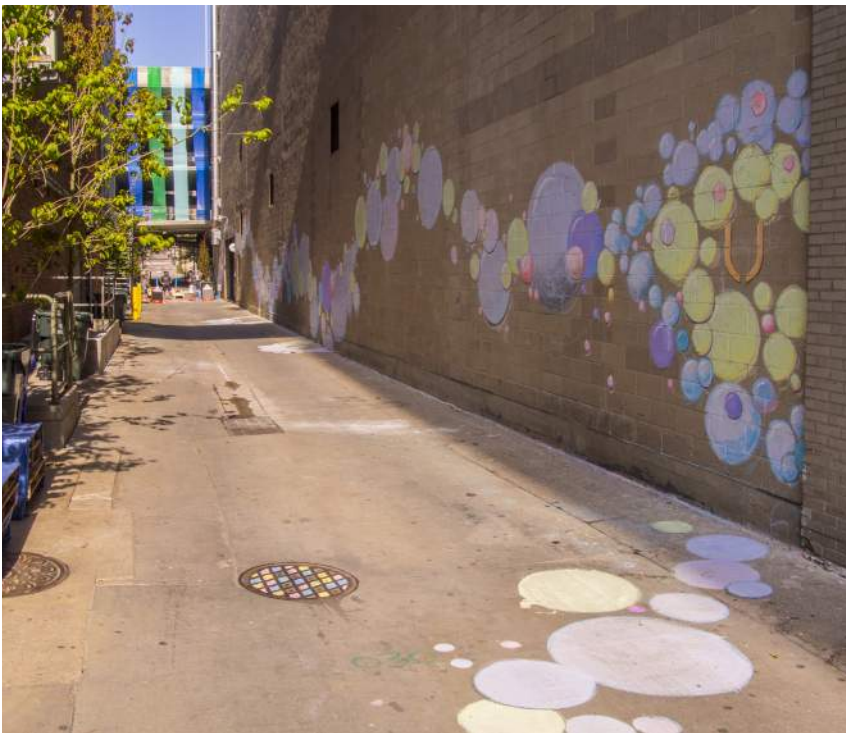
Intersection of 5th + Independence & Wyandotte



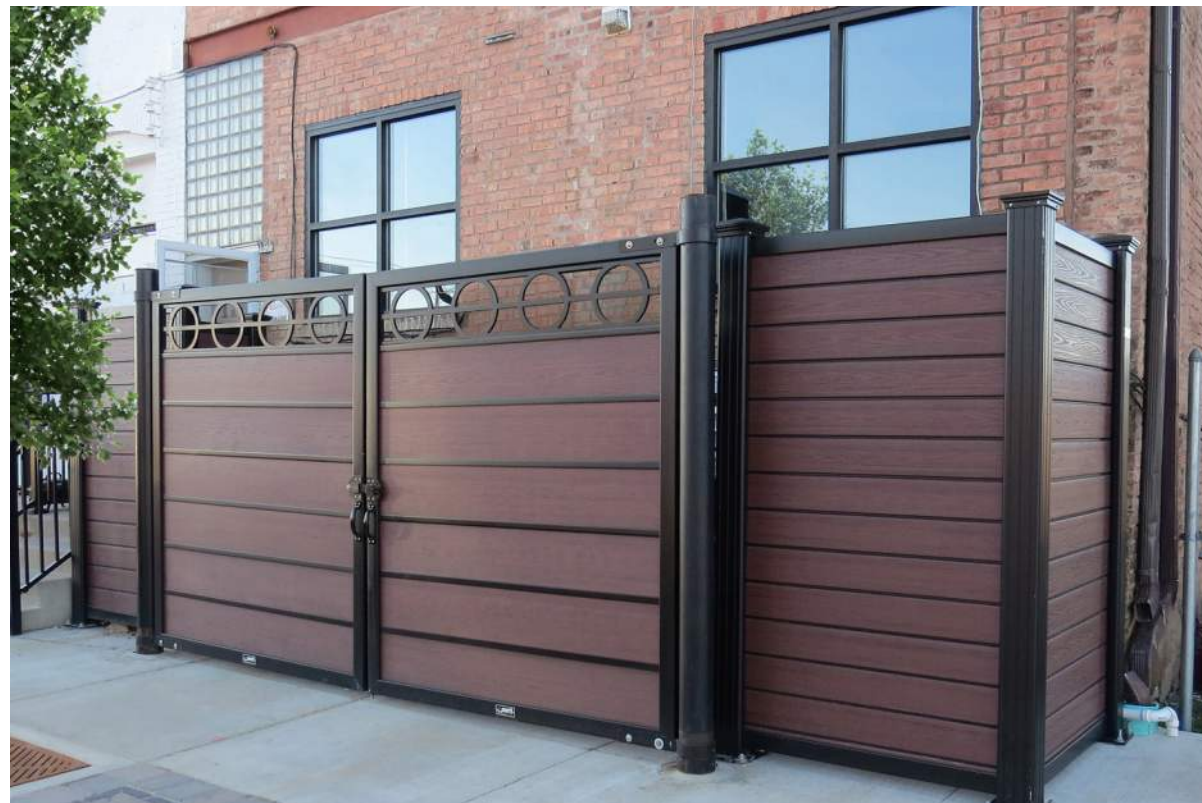
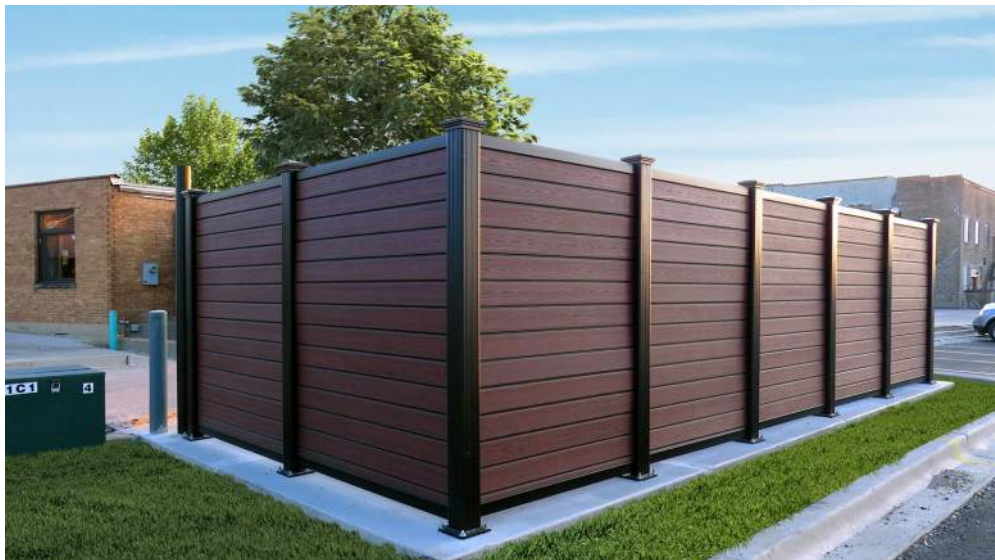
Intersection of Missouri Ave. & Grand Boulevard

ALLEY + DUMPSTER IMPROVEMENTS

Another opportunity that was raised during this process was the visual impact alleys and dumpsters can have throughout the River Market. Although not directly a part of the Streetscape and Amenities Plan, the visual impact of alley and dumpsters can express the character of the River Market neighborhood. The design team explored potential opportunities to mitigate dark, undesirable alleys and dumpsters that are visible throughout the neighborhood. The design team recommends formation of a committee that oversees the collective efforts and improvements to these facilities, along with potential funding mechanisms and partnerships with surrounding local businesses and tenants. A library of image examples for both alleys and dumpster improvements can be found on this page and the following page for inspiration of potential solutions.



Potential Alley Revitalization Example



Potential Dumpster Screening Examples

APPENDIX

EXISTING CONDITIONS SUMMARY BOARDS

The design team documented the physical streetscape condition for each street throughout the River Market neighborhood. A summary of the existing conditions can be found on the following pages.

COMMUNITY INPUT

In addition to the physical attributes that make up the River Market neighborhood, the design team gathered community input throughout the planning process of the River Market Streetscape and Amenities Plan. This included receiving input on community feedback for the following:

- Preference on main neighborhood entries
- Preference on level of involvement for potential alley revitalization solutions
- Preference and priority on streetscape amenity funding
- Online input tool to reach and receive a larger community input on likes and dislikes throughout the River Market neighborhood.

WE WANT YOUR INPUT

<https://conf.mysocialpinpoint.com/rmcid#/>

I love spending my Saturday mornings in the City Market!

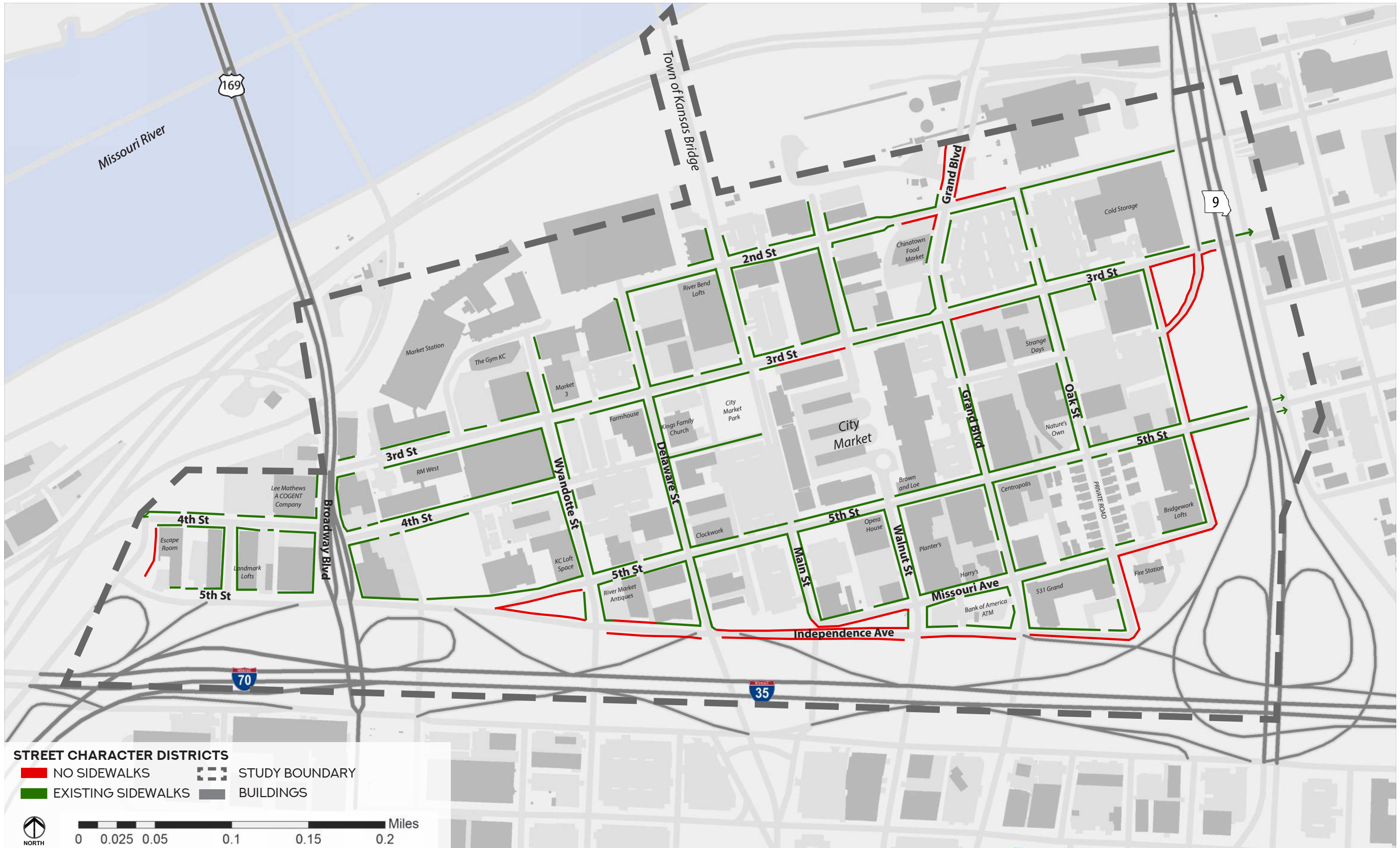
This sidewalk is not wide enough for my daughter's stroller.

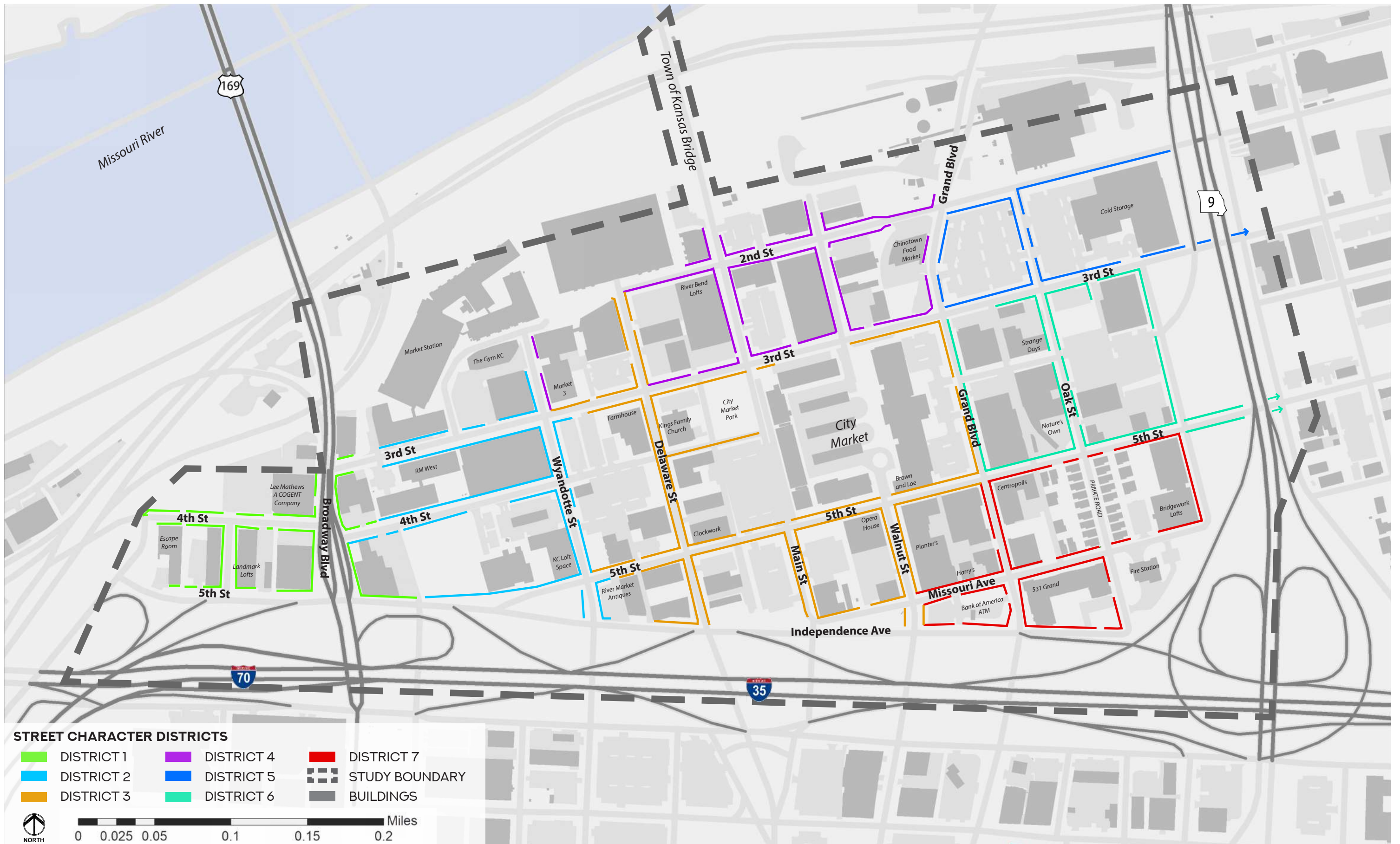


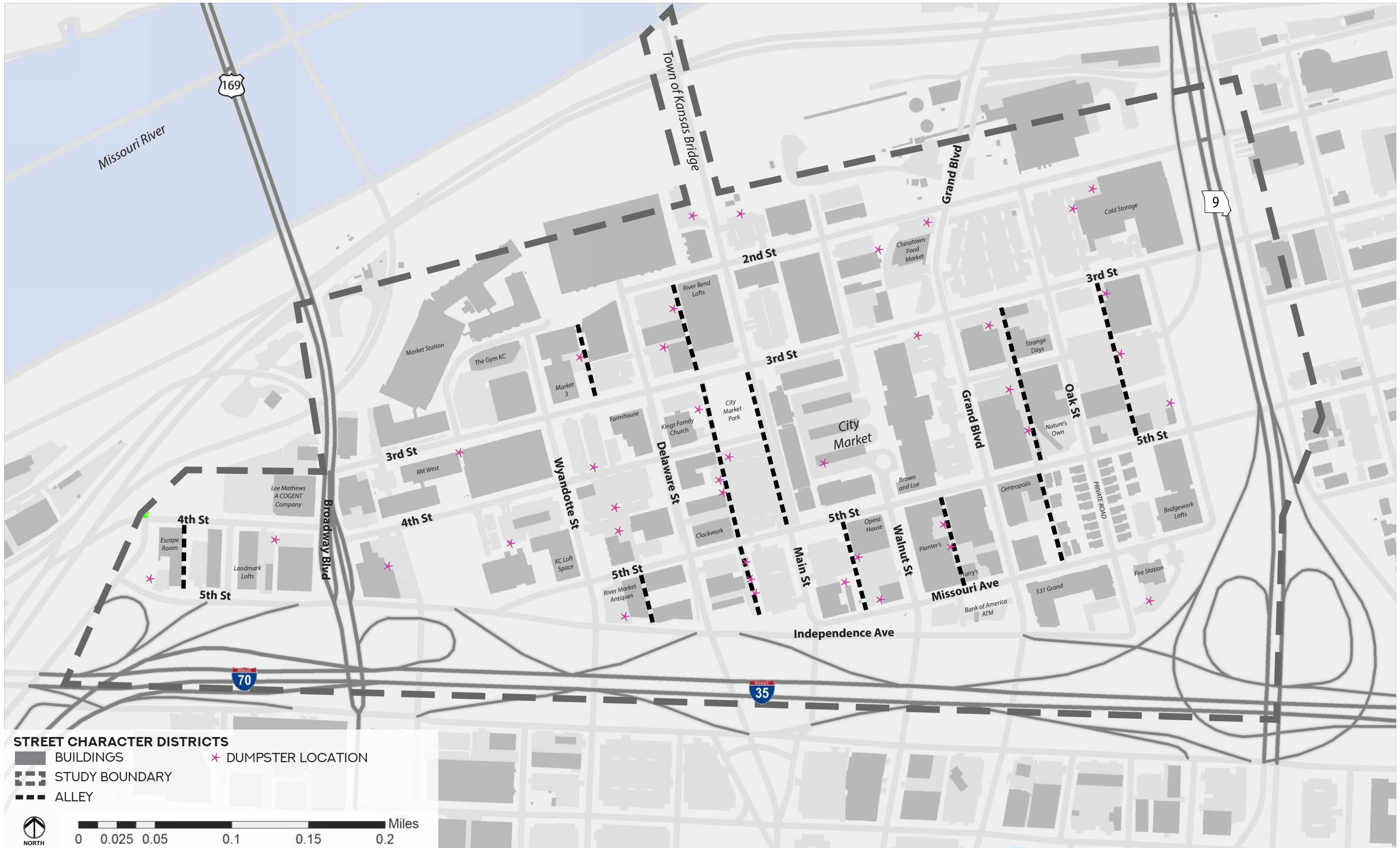
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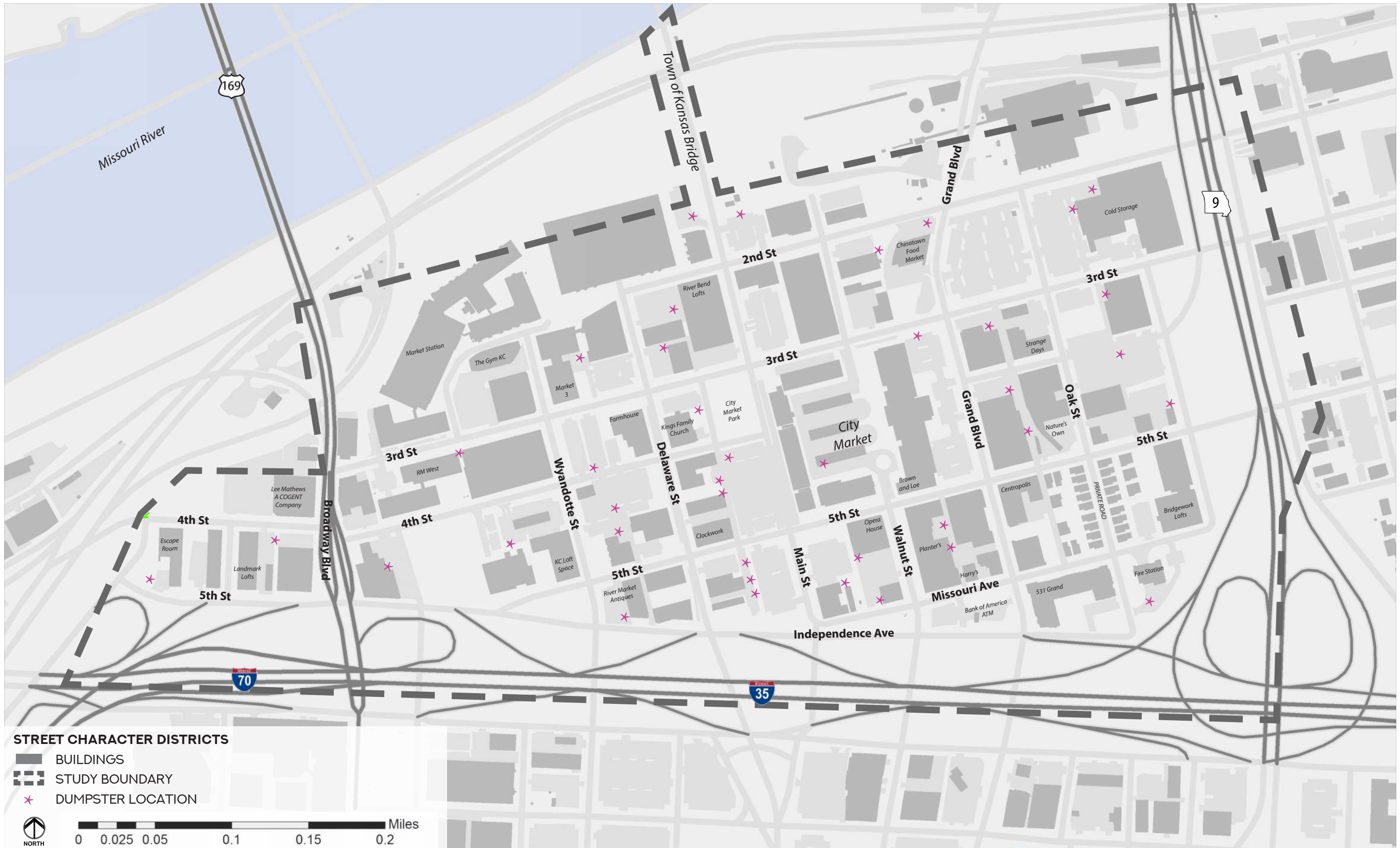
<https://conf.mysocialpinpoint.com/rmcid#/>

Your input will help the River Market Community Improvement District continue to make this a great neighborhood for years to come.









DISTRICT 1 CHARACTERISTICS:

- Sidewalk Width: Ranges 4.5 -12 Ft.
- Sidewalk Condition: (Old) mostly poor condition, with a few new pieces
- Sidewalk Material: Primarily concrete
- Lighting: Utility street poles
- Plant Material: Natural. Sparse and overgrown. Concrete planters with flowers
- Tree Lined Streetscape: Very little, not consistent
- Transit Stops: Attached to stand alone poles
- Alleys: Brick surface, overgrown plants clear path



3rd Street and Broadway Looking East



3rd Street and Broadway looking East



Overgrown Plants at Corner of Beardsley and 4th



4th Street and Broadway looking East



Poor Concrete Conditions 5th Street and Broadway



Beardsley Street and 2nd Looking North



5th Street and Broadway Looking West



Broadway Boulevard and 4th Looking South



Washington Street 5th and Looking North



5th Street and Washington Looking East



5th Street Broadway Looking West



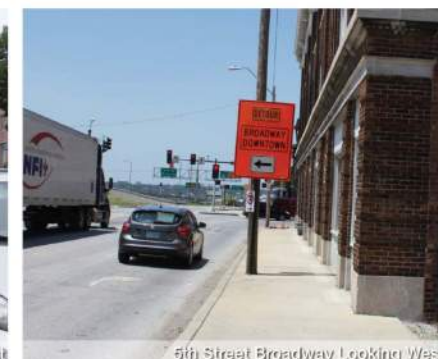
Broadway Boulevard under Bridge at 4th Street Looking North



4th Street and Washington Looking West



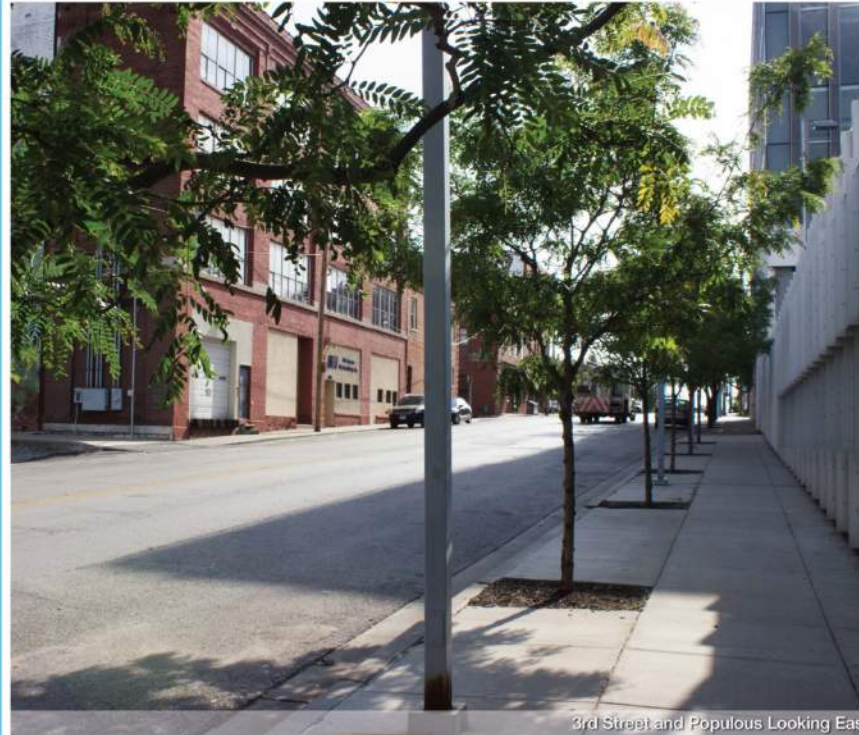
4th Street and Beardsley Looking West



Washington Street and 5th Looking North

DISTRICT 2 CHARACTERISTICS:

- Sidewalk Width: Ranges 5-13 Ft.
- Sidewalk Condition: (New) Good
- Sidewalk Material: Primarily concrete with some brick
- Lighting: Utility street poles with some pedestrian lights
- Plant Material: Planting beds or turf. Alive
- Tree Lined Streetscape: Yes, but fragmented and inconsistent. New and old. Street trees are very established, columnar varieties are suffering
- Transit Stops: Attached to stand alone poles and utility poles
- Alleys: None



3rd Street and Populous Looking East



3rd Street and Market Station looking East



Wyandotte Street and 4th Looking South



Wyandotte Street and 5th Looking South



5th Street and Wyandotte Looking East



3rd Street and Wyandotte Looking West



5th Street and Wyandotte Looking West



4th Street and Loft Space Parking Looking East



4th Street and RM West Looking East



5th Street and Wyandotte Looking West



Wyandotte Street and 6th Looking South



3rd Street and Wyandotte Looking West



3rd Street and Parking Garage Looking East



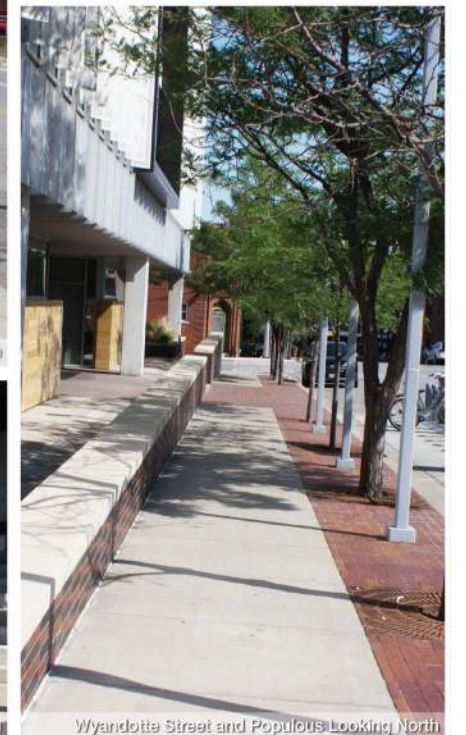
4th Street and Loft Space Parking Looking East



4th Street and Parking Garage Looking East



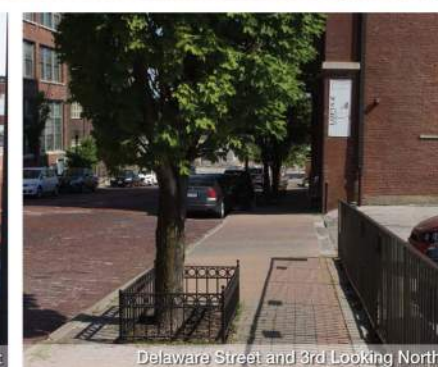
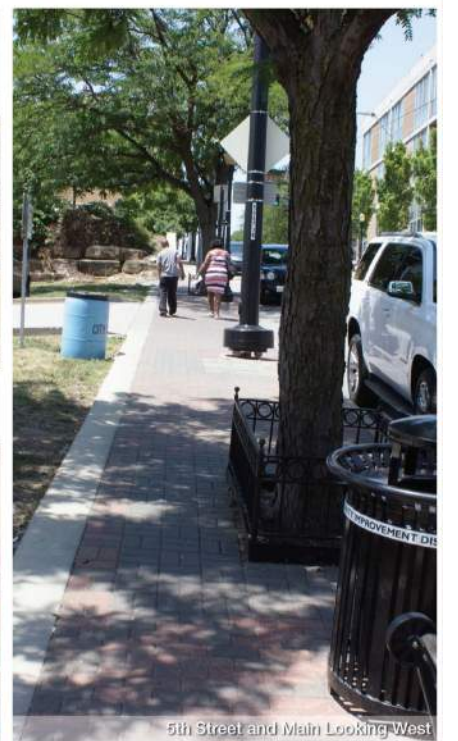
Wyandotte Street and GYMkc Looking South



Wyandotte Street and Populous Looking North

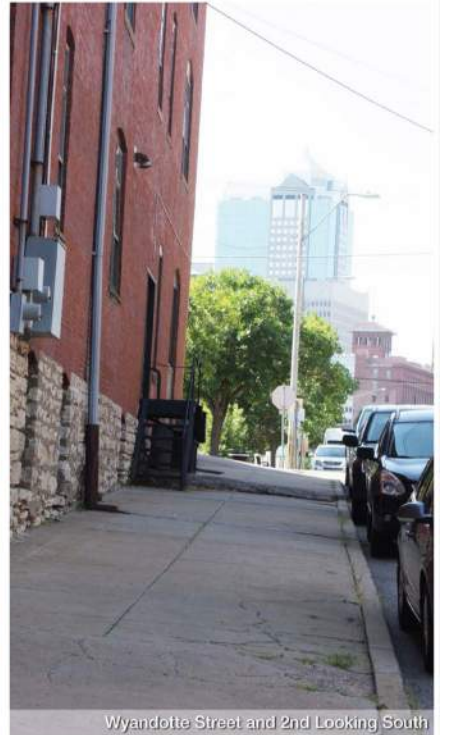
DISTRICT 3 CHARACTERISTICS:

- Sidewalk Width: Ranges 6-12, up to 22 Ft.
- Sidewalk Condition: Good
- Sidewalk Material: Primarily brick
- Lighting: Pedestrian light poles and Utility street poles
- Plant Material: Planting beds, turf, tree gates, Planters
- Tree Lined Streetscape: Yes. Most all alive, fairly consistent with few gaps
- Pedestrian Amenities: Benches, trash cans, and Streetcar
- Transit Stops: Streetcar and bus stop stations
- Alleys: Four total, 2 Brick, 1 concrete, 1 concrete and grass



DISTRICT 4 CHARACTERISTICS:

- Sidewalk Width: Ranges 5-10 Ft.
- Sidewalk Condition: Primarily good
- Sidewalk Material: Primarily concrete, New along 2nd
- Lighting: Utility street poles and pedestrian light poles
- Plant Material: Planting beds and planting pots. Alive
- Pedestrian Amenities: A few informal benches and trash cans
- Tree lined Streets: Yes. Fairly consistent with a few gaps
- Transit Stops: Attached to stand alone poles



DISTRICT 5 CHARACTERISTICS:

- Sidewalk Width: Ranges 5-11 Ft.
- Sidewalk Condition: Moderate to poor condition
- Sidewalk Material: mix of concrete and Brick; Relatively good and new condition
- Lighting: Utility street poles and pedestrian lighting
- Plant Material: Planting beds; Alive
- Tree Lined Streets: Yes, but very fragmented
- Pedestrian Amenities: Benches and Trash cans
- Transit Stops: Park and ride hub and streetcar stop in the area
- Alleys: None



Grand Boulevard and 2nd Looking South



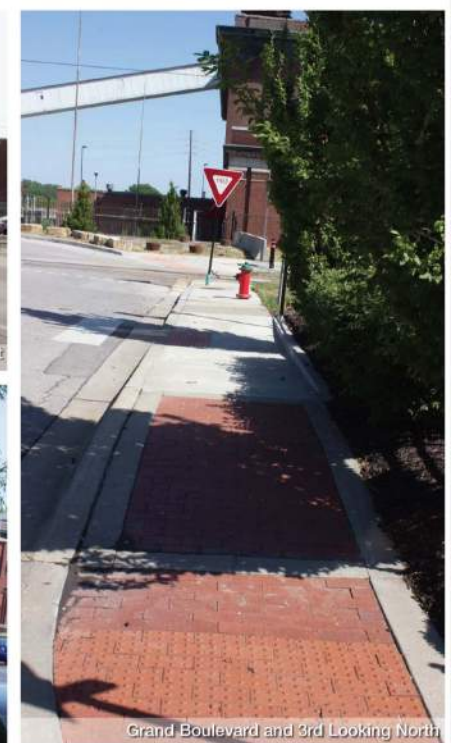
Grand Boulevard and 2nd Looking North



Grand Boulevard and Transit Park and Ride Looking South



3rd Street and Bus Stop looking East



Grand Boulevard and 3rd Looking North



3rd Street and Hwy 9 Exit Looking East



3rd Street and Oak Looking South



3rd Street and Garrison Management Looking East



Grand Boulevard and 2nd Looking East



Oak Street and 3rd Looking North



3rd Street and Bus Stop Looking West



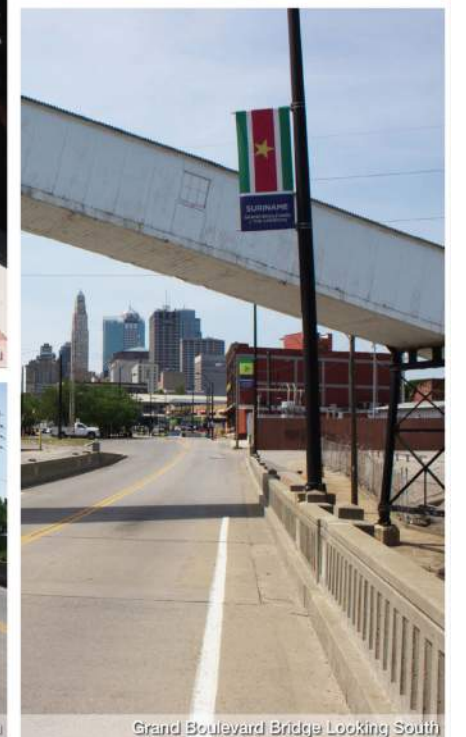
3rd Street and Garrison Management Looking East



Grand Boulevard and 2nd Looking East



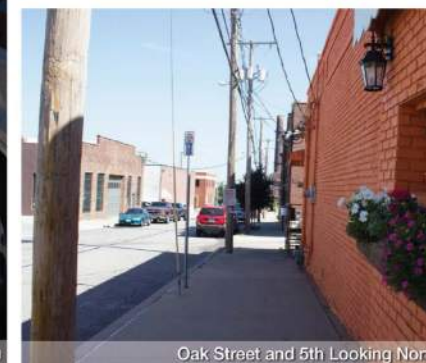
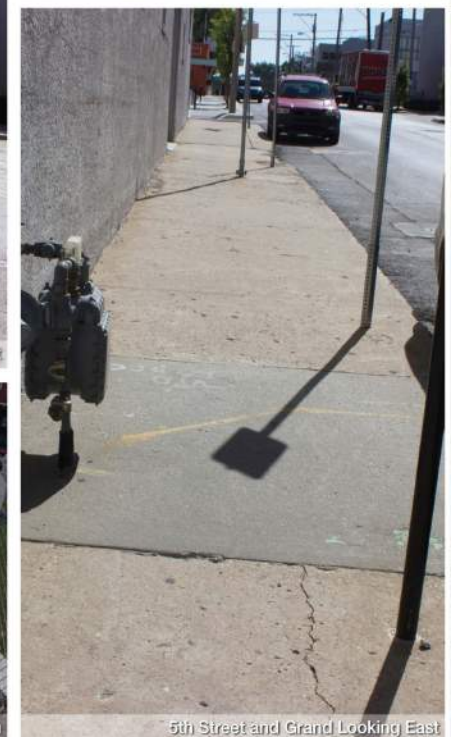
Grand Boulevard and 2nd Looking North



Grand Boulevard Bridge Looking South

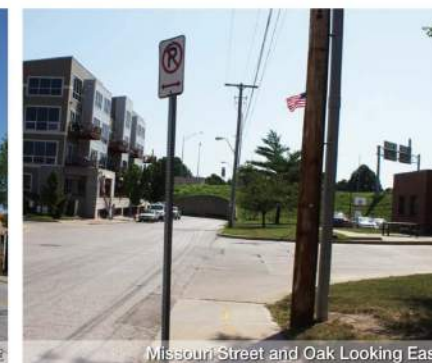
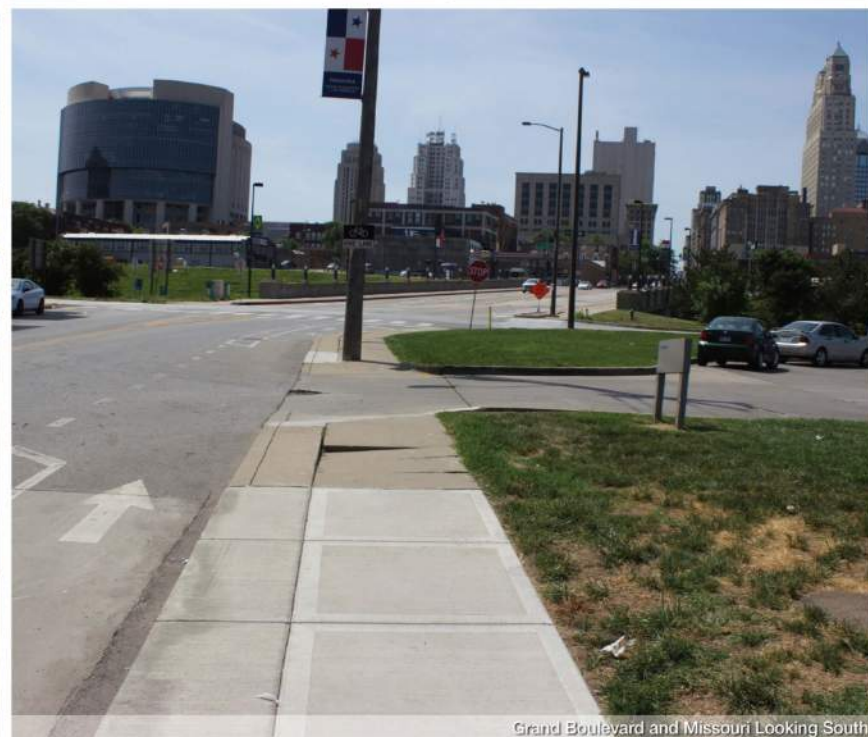
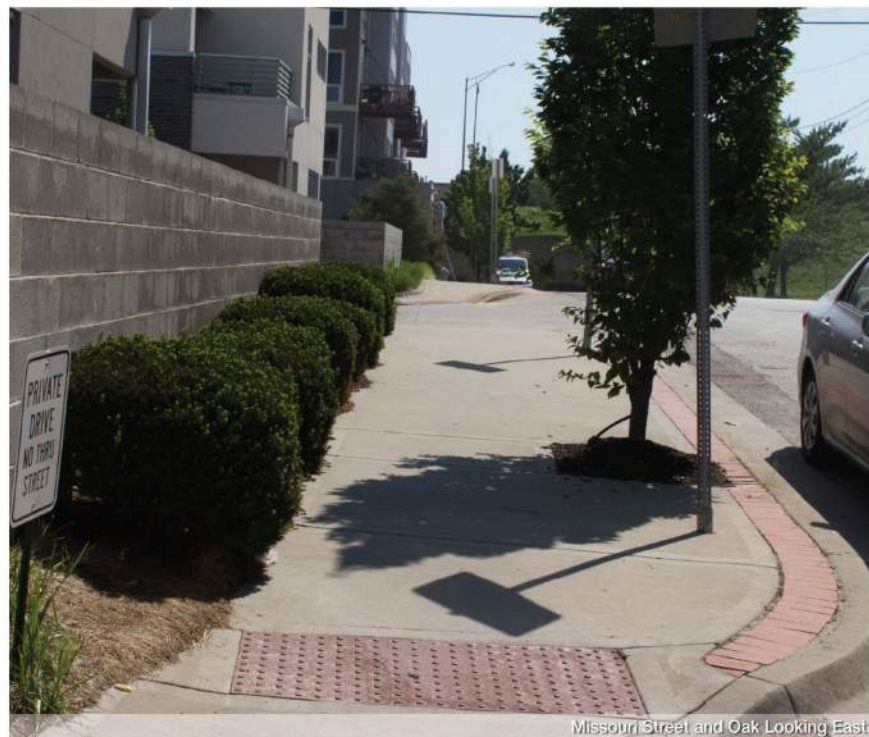
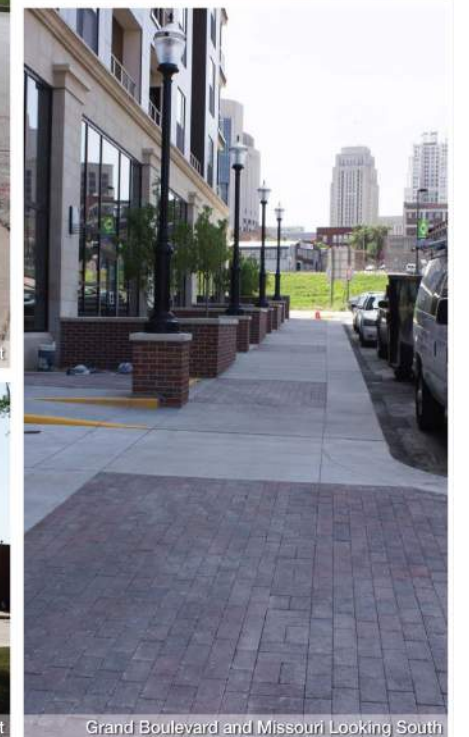
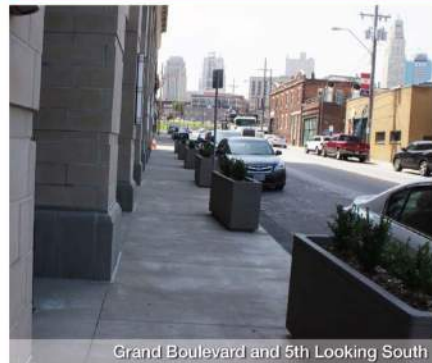
DISTRICT 6 CHARACTERISTICS:

- Sidewalk Width: Ranges 6-11 Ft.
- Sidewalk Condition: Moderate to poor condition. Old and new with older areas with cracking and buckling
- Sidewalk Material: Primarily concrete
- Lighting: Utility street poles or non existing
- Plant Material: Natural and sparse, overgrown or non existing
- Tree Lined Streetscape: Minimal, almost non existent
- Transit Stops: Few around the district
- Alleys: Old rail line, overgrown and crumbling concrete



DISTRICT 7 CHARACTERISTICS:

- Sidewalk Width: Ranges 6-11 up to 15 Ft.
- Sidewalk Condition: Primarily Good, few older pieces
- Sidewalk Material: Primarily concrete but mixture of brick
- Lighting: Utility street poles and a few pedestrian lighting
- Plant Material: Planting beds, turf and tree wells
- Tree Lined Streetscape: fragmented with a few gaps. Not best tree options
- Transit Stops: A few around the district
- Alleys: Old rail line, overgrown and crumbling concrete



ALLEY CHARACTERISTICS:



Alley Down Main at 3rd Looking South



Alley Between Washington and Beardsley Looking South



Alley Between Delaware and Main Looking South



Alley Between Delaware and Main Looking South



Alley Between Main and Delaware Looking South



Alley Between Main and Walnut Looking South



Alley Between Wyandotte and Delaware to the South



Alley Between Locust and Oak Looking South



Alley Between Grand and Oak Looking North



Alley Between Walnut and Grand Looking North



Alley Between Main and Delaware Looking North



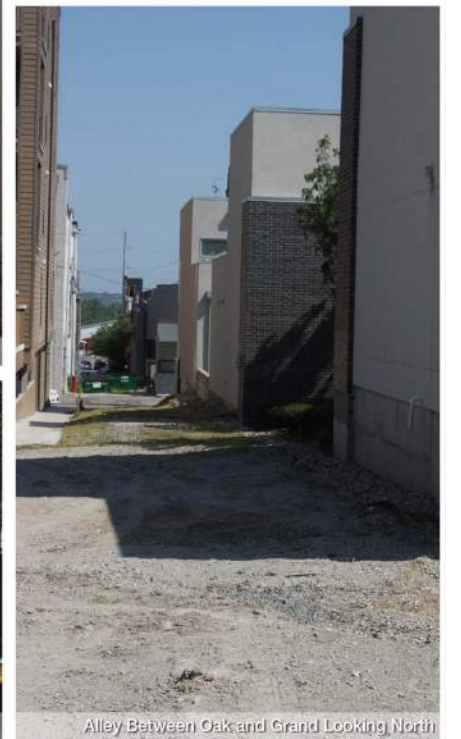
Alley Between Grand and Oak at 3rd Looking South



Alley Between Wyandotte and Delaware to the North

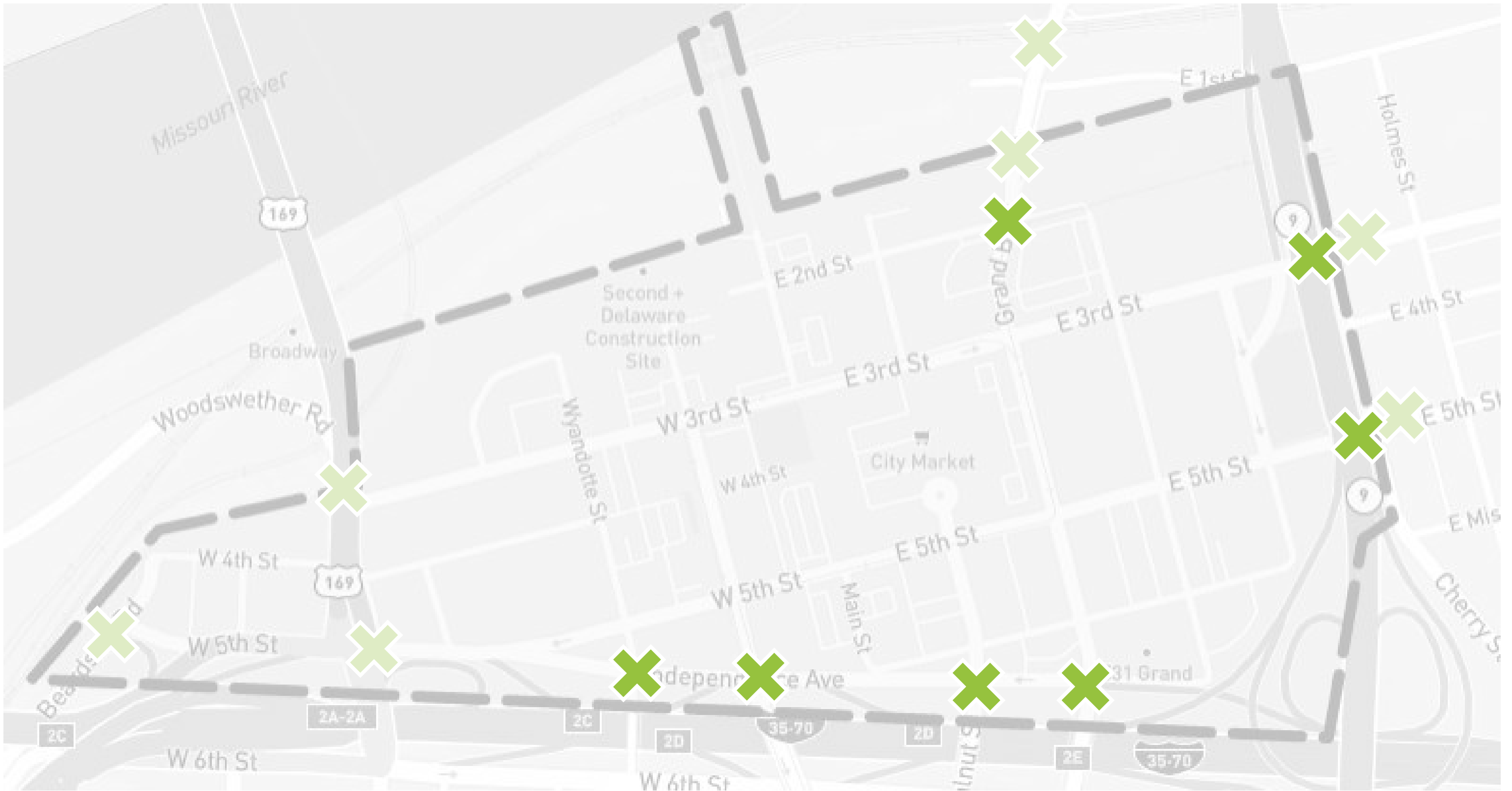


Alley Between Walnut and Grand Looking North

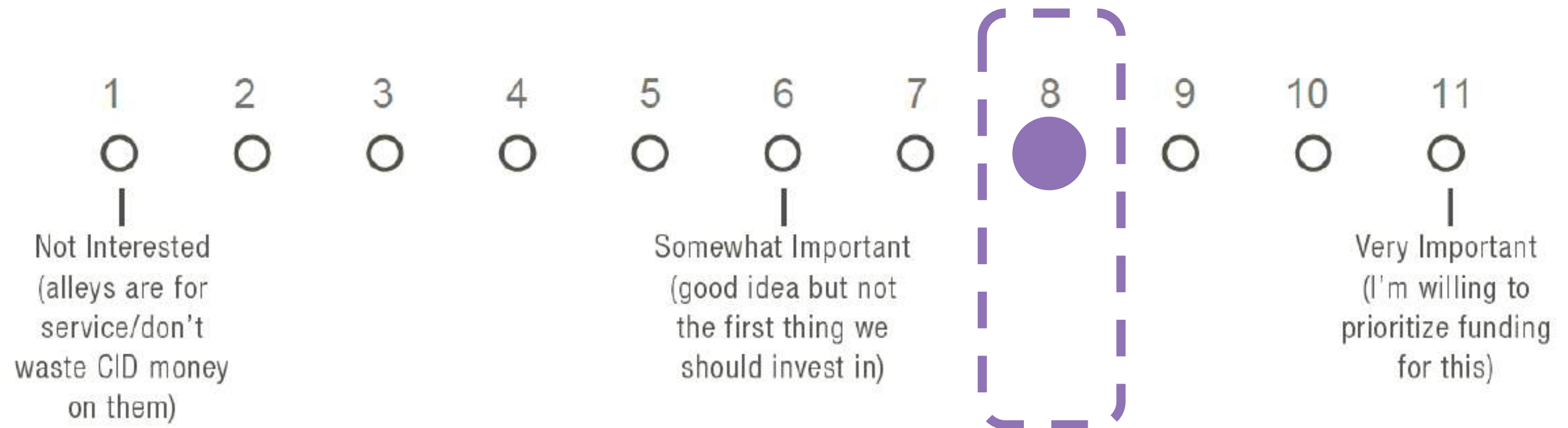


Alley Between Oak and Grand Looking North

WHAT WE HEARD – NEIGHBORHOOD ENTRIES



WHAT WE HEARD – ALLEY INTEREST



**Establish alley
subcommittee**

WHAT WE HEARD – AMENITY FUNDING TOP FIVE

Lighting (fixture aesthetics)
Lighting (quality/uniformity of illumination)
Street Trees
Ground Level Plantings
Urns/Flower Pots
Bicycle Parking
Benches/Seating
Litter/Recycling Receptacles
Dumpster Aesthetics
Alley Aesthetics
Alleys as Pedestrian Space
Clear and Consistent Wayfinding Signage
Neighborhood Identity Signage
Specialty Sidewalk Paving (brick/stone pavers, etc.)
Accessibility (Sidewalk Width/Condition)
Public Art
Banners/Temporary Graphics
Seasonal Lighting
Green Space
Green Storm Solutions (BMP's)

1. Lighting (quality/uniformity of illumination)
2. Dumpster Aesthetics
3. Alley Aesthetics
4. Street Trees
5. Green Space

Ground Level Plantings

Litter/Recycling Receptacles

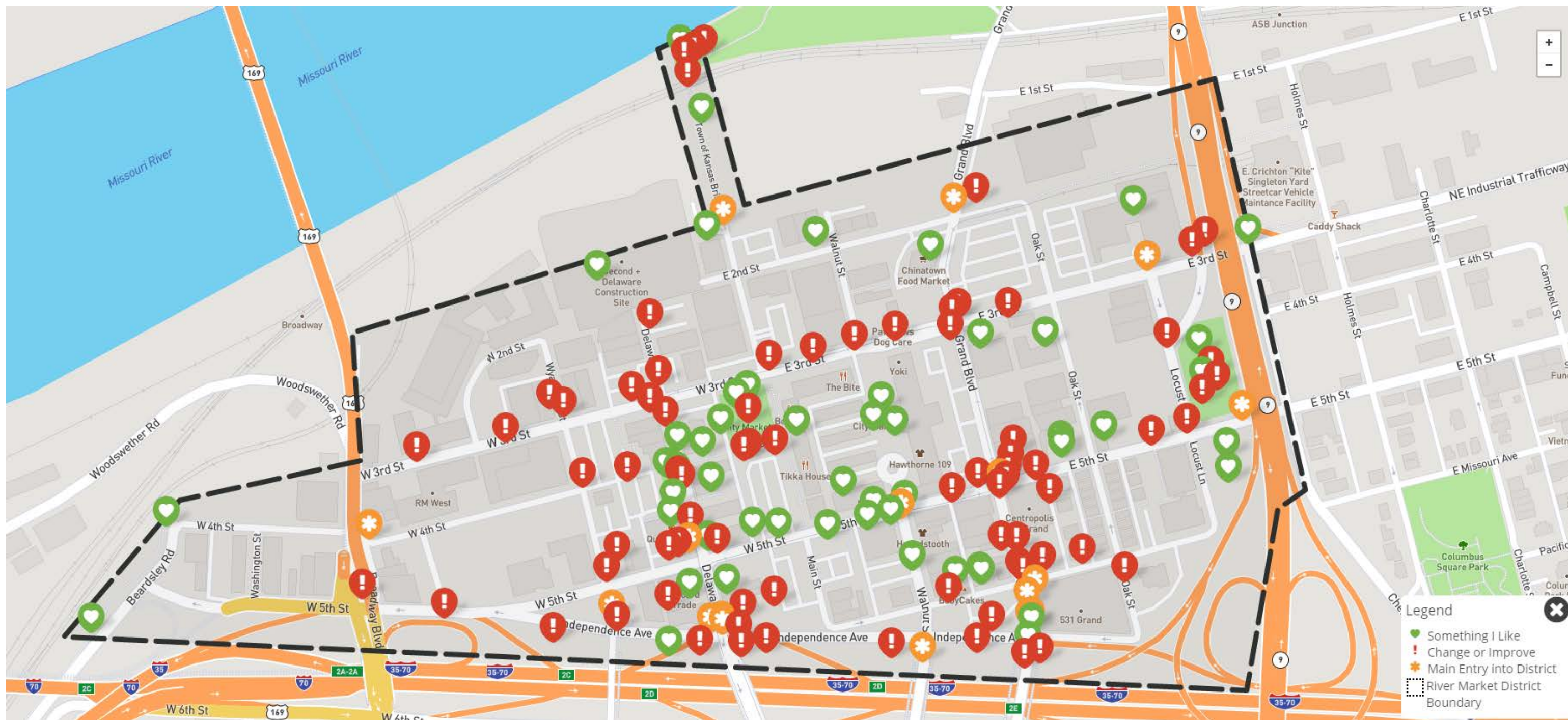
Banners/Temporary Graphics

Green Storm Solutions (BMP's)

Public Art

Clear and Consistent Wayfinding Signage (\$.10)





RIVER MARKET COMMUNITY
IMPROVEMENT DISTRICT

RIVER MARKET STREETScape AND AMENITIES MASTER PLAN

CONFLUENCE

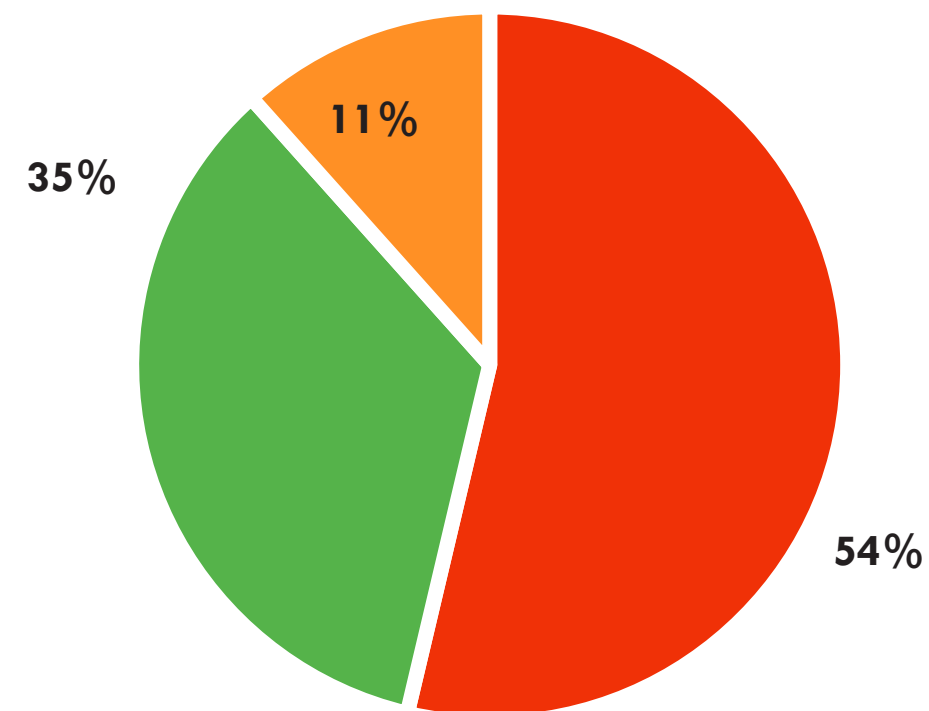
184
Total Visits

35
Unique Stakeholders

177
Comments

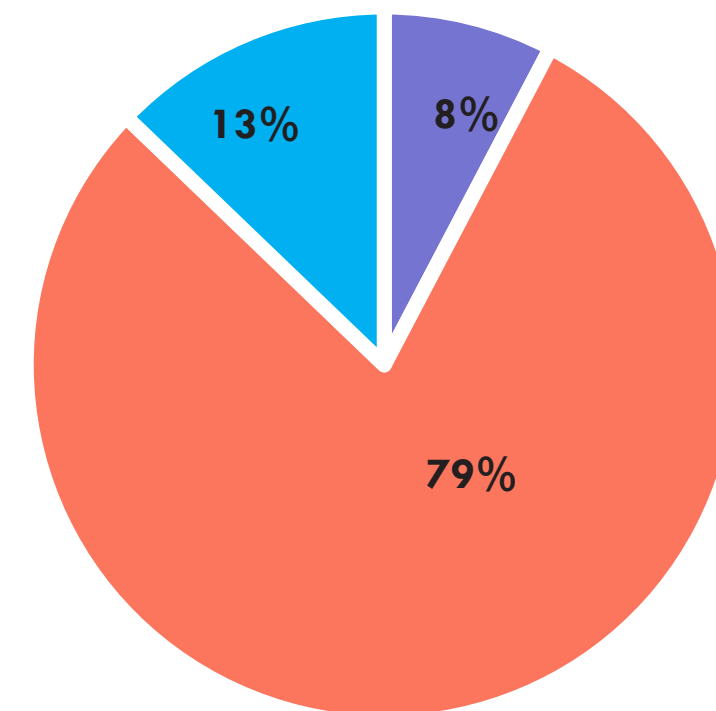
11:48
Average Time (min)

Comment Type



■ Change/Improve ■ Things they like ■ Entry

Relationship to the Area



■ I work here ■ I live here ■ I visit here



RIVER MARKET COMMUNITY
IMPROVEMENT DISTRICT

RIVER MARKET STREETSCAPE AND AMENITIES MASTER PLAN

CONFLUENCE

Top priority comments:

- Love the stop on the streetcar line on Delaware Street
- Intersections to improve safety (accentuate crosswalks; stop signs)
 - Grand and Missouri (congestion + proximity + parking)
 - 5th and Wyandotte (crosswalk length + visibility)
 - 3rd and Wyandotte (crosswalk length + visibility)
 - Independence and Wyandotte (speed + crosswalk)
- Underused green space along the highway
- Remove dead trees + replace with new ones
- Darkness at edges of neighborhood
- Maintain brick sidewalks for accessibility
- Improve sidewalks in poor condition/non existent (3rd street)

